



AGENDA
CHARTER TOWNSHIP OF MERIDIAN
ZONING BOARD OF APPEALS MEETING
October 13, 2021 6:30 pm

1. CALL MEETING TO ORDER
2. APPROVAL OF THE AGENDA
3. CORRECTIONS, APPROVAL AND RATIFICATION OF MINUTES
 - A. Wednesday, September 8, 2021
4. COMMUNICATIONS
5. UNFINISHED BUSINESS
6. NEW BUSINESS

A. ZBA CASE NO. 21-10-13-1 (Woodward Way LP), 500 S. Front Street, Columbus, OH, 43215

DESCRIPTION:	East of Sirhal Drive, west of Greencliff Drive
TAX PARCEL:	17-377-031
ZONING DISTRICT:	RC (Multiple Family)

The variance requested is exceed the maximum building dimension by 17 feet and 40 feet in length for two buildings.

7. OTHER BUSINESS
8. PUBLIC REMARKS
9. BOARD MEMBER COMMENTS
10. ADJOURNMENT

Variance requests may be subject to change or alteration upon review of request during preparation of the staff memorandum. Therefore, Sections of the Code of Ordinances are subject to change. Changes will be noted during public hearing meeting.

Individuals with disabilities requiring auxiliary aids or services should contact the Meridian Township Board by contacting: Assistant Planner Keith Chapman, 5151 Marsh Road, Okemos, MI 48864 or 517.853.4580 - Ten Day Notice is Required.
Meeting Location: 5151 Marsh Road, Okemos, MI 48864 Township Hall

**CHARTER TOWNSHIP OF MERIDIAN
ZONING BOARD OF APPEALS REGULAR MEETING MINUTES *DRAFT*
5151 MARSH ROAD, OKEMOS, MI 48864-1198
(517) 853-4000
WEDNESDAY, SEPTEMBER 8, 2021
REGULAR TELEVISED MEETING**

PRESENT: Chair Mansour, Vice-Chair Field-Foster, Members Opsommer, Hendrickson, Shorkey

ABSENT: None

STAFF: Assistant Planner Chapman

1. CALL MEETING TO ORDER

Chairperson Mansour called the meeting to order at 6:30 p.m.

2. APPROVAL OF AGENDA

Member Filed-Foster moved to approve the agenda as submitted. Seconded by Member Hendrickson.

ROLE CALL TO VOTE:

YEAS: Members Shorkey, Vice-Chair Field-Foster, Hendrickson, Opsommer, Chair Mansour

NAYS: None

Motion carried: 5-0

3. CORRECTIONS, APPROVAL & RATIFICATION OF MINUTES

A. August 25, 2021 Meeting Minutes

Vice-Chair Field Foster noted she adjourned the August, 25th meeting, not Chair Mansour.

Member Hendrickson noted a hyphen was missing from Vice-Chairperson Field-Foster's name in section nine, line one of Member Comments.

Member Field-Foster moved to approve the minutes from Wednesday, August 25, 2021 with amendments. Seconded by Member Hendrickson.

ROLE CALL TO VOTE:

YEAS: Members Shorkey, Vice-Chair Field-Foster, Hendrickson, Opsommer, Chair Mansour

NAYS: None

Motion carried: 5-0

4. COMMUNICATIONS

A. Drew Lockwood RE: ZBA #21-09-08-1

5. UNFINISHED BUSINESS - NONE

6. NEW BUSINESS

A. ZBA CASE NO. 21-09-08-1 (Kliewer), 5118 Park Lake Road, East Lansing, MI, 48823

DESCRIPTION: 5118 Park Lake Road

TAX PARCEL: 17-476-001

ZONING DISTRICT: RA (Single Family, Medium Density)

The variance requested is to construct an approximately 1,260 square attached garage not meeting the minimum front yard setback from the centerline of Park Lake Road.

Assistant Planner Chapman outlined the case for discussion. Chapman mentioned Township Ordinance §86-561 would allow the Zoning Board of Appeals to bypass a variance and establish a setback for the property. Ordinance §86-561 reads, "Any front yard in any single-family residential district may be reduced below the minimum required only when the front yards of existing principal structures within 200 feet of a proposed principal building location are less than the minimum required, in which case the Township Board of Appeals shall establish the required minimum front yard."

Christopher Kliewer, 5118 Park Lake Road, East Lansing briefly discussed his case with board members.

Vice-Chair Field-Foster asked the applicant how he measured the distance from his house and his neighbor's houses to the road. Kliewer replied that he approximated using Google Maps.

Member Hendrickson asked Assistant Planner Chapman if the measurements are accurate. Assistant Planner Chapman replied yes, according to GIS, the measurements are accurate.

Member Hendrickson asked to clarify that Ordinance §86-561 allows the Zoning Board of Appeals to change the front yard setback for only the property in question, and not the neighboring properties. Assistant Planner Chapman replied that is the case.

Member Shorkey asked to clarify the map the applicant provided does include neighbors within 200 feet. The applicant stated across the road is the back yard of Wardcliff and no houses are present there. Chair Mansour stated she was at the property in question and confirmed visually the neighboring properties appear uniform in distance from the road.

Vice-Chair Field-Foster asked what the benefit would be to change the front yard setback using Ordinance §86-561 as opposed to issuing a variance. Chair Mansour replied that it would avoid having to meet the eight criteria, and allows the applicant to make other changes to the property without having to come back for other variances in the future.

Member Hendrickson stated criteria seven may be difficult to meet without more information, and it would be a cleaner action to change the setback through Ordinance §86-561.

Chair Mansour asked Assistant Planner Chapman how to go about enforcing Ordinance §86-561.

Assistant Planner Chapman replied that it's as simple as the board choosing a setback distance and voting on it.

Member Opsommer stated his interpretation of the intent of Ordinance §86-561 is to allow the ZBA to address non-conforming structures. He asked Assistant Planner Chapman if he agrees. Assistant Planner Chapman replied that he does agree with that interpretation.

Member Hendrickson moved to establish a 74 foot front yard setback for 5118 Park Lake Road. Seconded by Member Shorkey.

ROLE CALL TO VOTE:

YEAS: Members Shorkey, Vice-Chair Field-Foster Hendrickson, Opsommer, Chair Mansour

NAYS: None

Motion carried: 5-0

7. OTHER BUSINESS – None

8. PUBLIC REMARKS

Chair Mansour opened the floor for public remarks at 6:53 pm

None

Chair Mansour closed public remarks at 6:54 pm

9. MEMBER COMMENTS

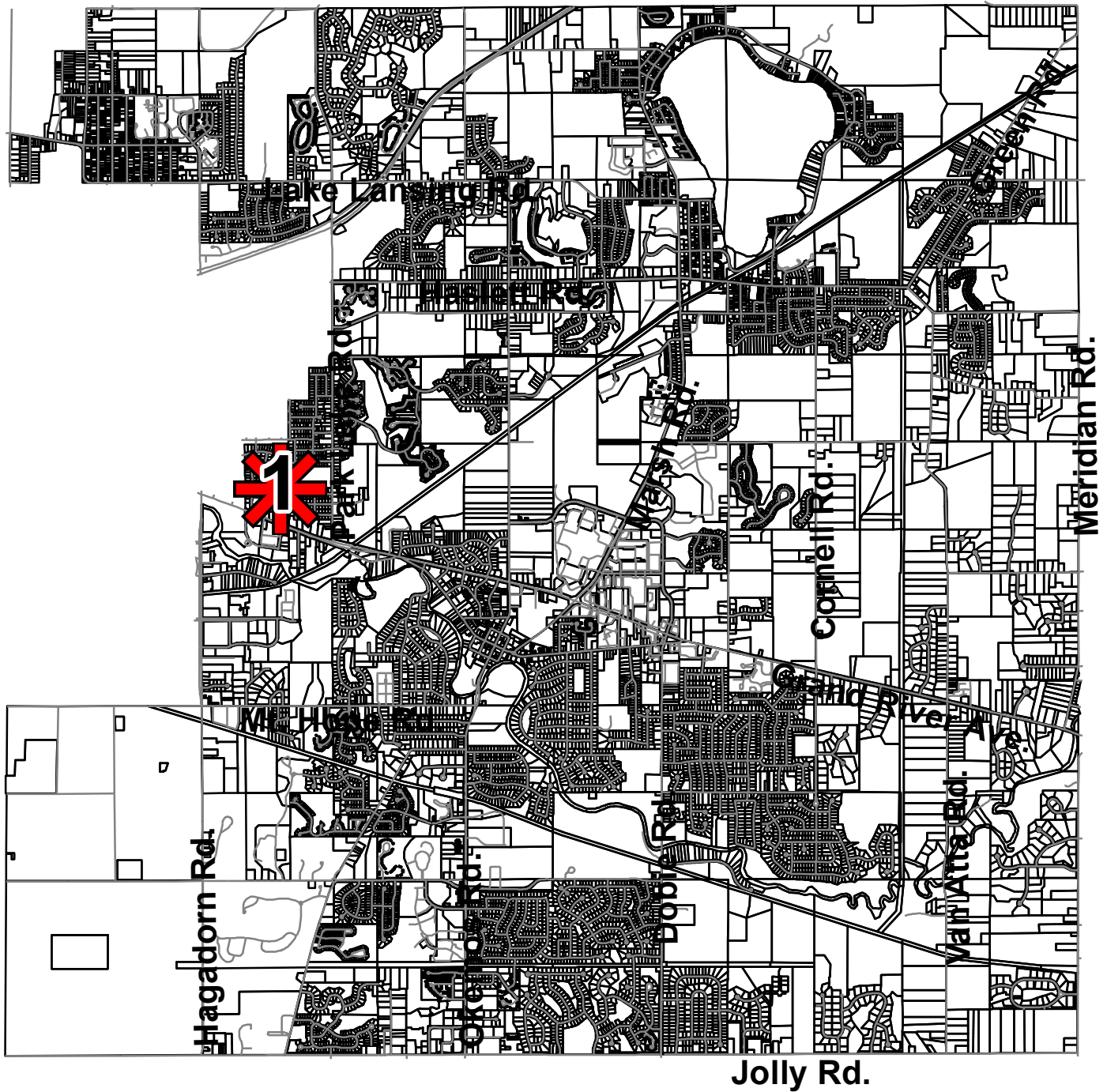
Member Shorkey apologized for missing last meeting. He also mentioned using Ordinance §86-561 could cause many other applicants to seek the same resolution as in this case. He stated the Township should look to see if an amendment is appropriate to address this section of Park Lake Road.

Chair Mansour issued a reminder that the ZBA has to take all applicants on a case-by-case basis, so if a flood of applicants come in they will have to be handled one at a time.

10. ADJOURNMENT

Chair Mansour Adjourned the meeting at 6:55 pm.

Meridian Township



Location Map

1. ZBA #21-10-13-1 (Woodward Way LDHA)



VARIANCE APPLICATION SUPPLEMENT

A variance will be granted, if the following Review Criteria are met:

1. Unique circumstances exist that are peculiar to the land or structure that are not applicable to other land or structures in the same zoning district.
2. These special circumstances are not self-created.
3. Strict interpretation and enforcement of the literal terms and provisions of this chapter would result in practical difficulties.
4. That the alleged practical difficulties which will result from a failure to grant the variance would unreasonably prevent the owner from using the property for a permitted purpose.
5. Granting the variance is the minimum action that will make possible the use of the land or structure in a manner which is not contrary to the public interest and which would carry out the spirit of this zoning ordinance, secure public safety, and provide substantial justice.
6. Granting the variance will not adversely affect adjacent land or the essential character in the vicinity of the property.
7. The conditions pertaining to the land or structure are not so general or recurrent in nature as to make the formulation of a general regulation for such conditions practicable.
8. Granting the variance will be generally consistent with public interest and the purposes and intent of this Chapter.



To: Zoning Board of Appeals
From: Keith Chapman, Assistant Planner
Date: October 4, 2021
Re: ZBA Case No. 21-10-13-1 (Woodward Way Limited Partnership)

ZBA CASE NO.: 21-10-13-1 (Woodward Way Limited Partnership), 500 S. Front Street, Columbus, OH 43215
LOCATION: East of Sirhal Drive, west of Greencliff Drive
PARCEL NO.: 17-377-031
ZONING DISTRICT: RC (Multiple Family-maximum 14 dwelling units per acre)

The applicant is requesting variances from the following sections of the Code of Ordinances:

- Section 86-376(g)(7)(iii), Other yard dimensions. No single building or connected building may exceed 200 feet in any one dimension. All buildings shall be so arranged as to permit emergency vehicle access, by some practical means, to all sides.

In 2019, Woodward Way Limited Partnership received special use permit approval (SUP #19111 & SUP #19121) to construct a 49-unit townhouse and apartment complex comprised of four buildings totaling 52,861 square feet in size on the north 4.37 acres of Parcel Number 17-377-031. Variances were granted in 2019 (ZBA #19-09-18-3) that allowed for two buildings to exceed the allowed 200 feet in length by 37 feet and to allow for parking spaces to be 180 square feet (9 feet by 20 feet) in size. The project site is zoned RC (Multiple Family, maximum 14 units per acre) and located east of Sirhal Drive, north of Whole Foods, and west of Greencliff Drive.

The applicant has submitted revised plans and received special use permit approval (SUP #21-19111 & SUP #21-19121) for a 49-unit apartment complex with two buildings totaling 49,288 square feet. The main reason for the redesign is the cul-de-sac for Sirhal Drive and the condition of Rezoning #19010 that 100 feet of public road frontage be provided. That is now being done by building a cul-de-sac on the property, as extending the road through the site was not permitted by the ICRD. All units will be stacked flats, eliminating the townhouse units that were originally approved. The proposed development would provide housing for persons and families of low to moderate income.

The Code of Ordinances does not allow a single building or connected building in multiple family developments to exceed 200 feet in any one dimension. The submitted site plan shows Buildings one (1) and two (2) are 217 feet and 240 feet in length respectively, so a 17-foot and 40-foot variance is required. The Township Fire Inspector reviewed the site plan and concluded the length of the buildings would not be an issue for emergency access.

ZBA Case No. 21-10-13-1 (Woodward Way Limited Partnership)
Zoning Board of Appeals (October 13, 2021)
Page 2

Attachments

1. Variance application dated September 27, 2021 and received by the Township on September 27, 2021.
2. Applicant's response to review criteria received by the Township on September 27, 2021.
3. Site plan dated August 17, 2021 and received by the Township on September 27, 2021.
4. Site location map.

G:\COMMUN PLNG & DEV\PLNG\ZBA\2021 ZBA\ZBA 21-10-13\ZBA 21-10-13-1 (Woodward Way LP)\ZBA 21-10-13-1 staff report

**CHARTER TOWNSHIP OF MERIDIAN
PLANNING DIVISION
5151 MARSH ROAD, OKEMOS, MI 48864
(517) 853-4560**

VARIANCE APPLICATION

A. Applicant _____
Address of Applicant _____

Telephone (Work) _____ Telephone (Home) _____
Fax _____ Email address: _____
Interest in property (circle one): Owner Tenant Option Other

B. Site address/location _____
Zoning district _____ Parcel number _____

- C. Nature of request (Please check all that apply):
- Request for variance(s)
 - Request for interpretation of provision(s) of the "Zoning Ordinance" of the Code of Ordinances
 - Review an order, requirements, decision, or a determination of a Township official charged with interpreting or enforcing the provisions of the "Zoning Ordinance" of the Code of Ordinances

Zoning Ordinance section(s) _____

- | <u>Required Supporting Material</u> | <u>Supporting Material if Applicable</u> |
|--|--|
| -Property survey | -Architectural sketches |
| -Legal description | -Other |
| -Proof of property ownership or approval letter from owner | |
| -Site plan to scale | |
| -Written statement, which demonstrates how all the review criteria will be met (See next page) | |

Frank Fugate _____
Signature of Applicant Print Name Date

Fee: _____ Received by/Date: _____

*I (we) hereby grant permission for members of the Charter Township of Meridian Zoning Board of Appeals, Township staff members and the Township's representatives or experts the right to enter onto the above described property (or as described in the attached information) in my (our) absence for the purposes of gathering information including but not limited to the taking and the use of photographs. **(Note to Applicant(s): This is optional and will not affect any decision on your application.)***

Signature of Applicant(s) Date

Signature of Applicant(s) Date

VARIANCE APPLICATION SUPPLEMENT

A variance will be granted, if the following Review Criteria are met:

1. Unique circumstances exist that are peculiar to the land or structure that are not applicable to other land or structures in the same zoning district.
2. These special circumstances are not self-created.
3. Strict interpretation and enforcement of the literal terms and provisions of this chapter would result in practical difficulties.
4. That the alleged practical difficulties which will result from a failure to grant the variance would unreasonably prevent the owner from using the property for a permitted purpose.
5. Granting the variance is the minimum action that will make possible the use of the land or structure in a manner which is not contrary to the public interest and which would carry out the spirit of this zoning ordinance, secure public safety, and provide substantial justice.
6. Granting the variance will not adversely affect adjacent land or the essential character in the vicinity of the property.
7. The conditions pertaining to the land or structure are not so general or recurrent in nature as to make the formulation of a general regulation for such conditions practicable.
8. Granting the variance will be generally consistent with public interest and the purposes and intent of this Chapter.

Effect of Variance Approval:

1. Granting a variance shall authorize only the purpose for which it was granted.
2. The effective date of a variance shall be the date of the Zoning Board of Appeals approves such variance.
3. A building permit must be applied for within 24 months of the date of the approval of the variance, and a Certificate of occupancy must be issued within 18 months of the date the building permit was issued, otherwise the variance shall be null and void.

Reapplication:

1. No application for a variance, which has been denied wholly or in part by the Zoning Board of Appeals, shall be resubmitted until the expiration of one (1) year or more from the date of such denial, except on grounds of newly discovered evidence or proof of changed conditions found by the Zoning Board of Appeals to be sufficient to justify consideration.

Variance Application Supplement

1. Unique circumstances exist that are peculiar to the land or structure that are not applicable to other land or structures in the same zoning district.

The requested is exceeding the maximum building dimensions by 16 feet on one building and 40 feet on the second building. The redesign has reduced the number of buildings from four buildings to two buildings which will allow a Sirhall cul-de - sac to be sited on applicant's property.
2. These special circumstances are not self-created.

During the process of working with the adjacent property and Ingham road department a smaller cul-de -sac design was proposed, however after the county reviewed the smaller design required the larger county design. The larger cul-de sac then required redesign of the site from 4 to 2 buildings, being two-story walk-up design. During the process we were not able to secure an additional ¼ acre of property from the adjacent property owner.
3. Strict interpretation and enforcement of the literal terms and provisions of this chapter would result in practical difficulties.

Allowing the additional building dimension will allow the initial proposed 49 units designed in two building instead of four building and still allowing a sirhal cul-de - sac entrance. These two additional building dimensions will also allow us to maintain setbacks, and greenspace.
4. That the alleged practical difficulties which will result from a failure to grant the variance would unreasonably prevent the owner from using the property for a permitted purpose.

Not granting these variances would prevent us from moving forward with our multifamily design, from conditions created by county road requirements.
5. Granting the variance is the minimum action that will make possible the use of the land or structure in a manner which is not contrary to the public interest and which would carry out the spirit of this zoning ordinance, secure public safety, and provide substantial justice.

The building length variance increase will have minimal/ no impact on the spirt of the zoning or impact public safety based on building standards and fire equipment. Again, the redesign from four building to two buildings, reducing building height, maintaining set- backs and designing the Sirhal Cul-de- sac on applicant's property, in turn allowing the building length variance is minimum action to create a favorable design.
6. Granting the variance will not adversely affect adjacent land or the essential character in the vicinity of the property.

Granting the variance will not adversely affect adjacent land or character the neighbors because they will not notice the two buildings one 16 feet longer and the other building 30 feet longer.

7. The conditions pertaining to the land or structure are not so general or recurrent in nature as to make the formulation of a general regulation for such conditions practicable.
The conditions pertaining to the site are not so general, recurrent or applicable to other properties in the vicinity in which they would require the formation of a general regulation.
8. Granting the variance will be generally consistent with public interest and the purposes and intent of this Chapter.
The variance is consistent with public interest in that the building dimension are increased by so little not to be noticeable or put life safety at risk.

Effect of Variance Approval:

1. Granting a variance shall authorize only the purpose for which it was granted.
2. The effective date of a variance shall be the date of the Zoning Board of Appeals approves such variance.
3. A building permit must be applied for within 24 months of the date of the approval of the variance, and a Certificate of occupancy must be issued within 18 months of the date the building permit was issued, otherwise the variance shall be null and void.



WOODWARD WAY LDHA, LP

2720 - 2780 SIRHAL DRIVE

MERIDIAN TOWNSHIP

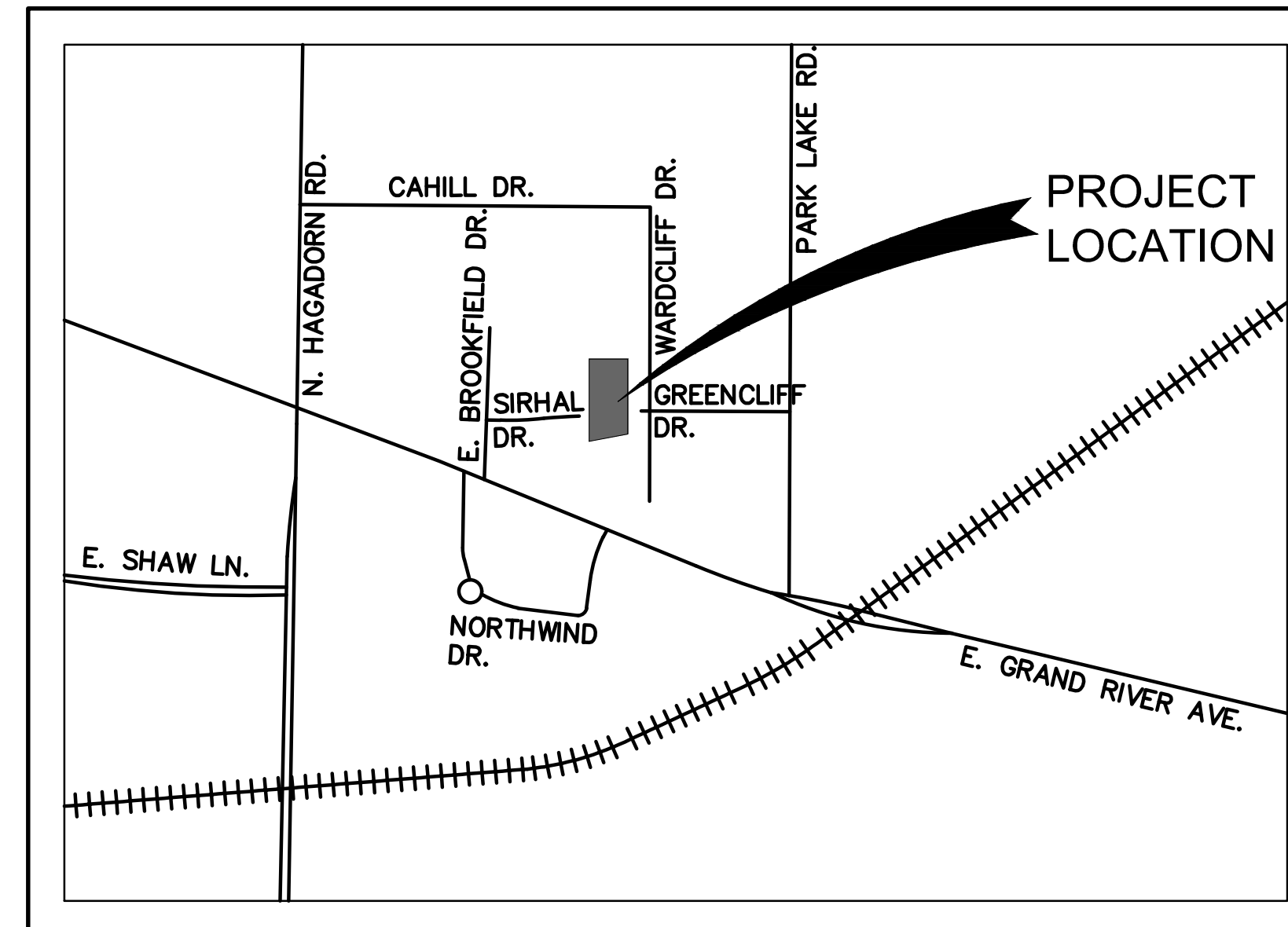
INGHAM COUNTY, MICHIGAN

INDEX OF SHEETS

CS	COVER SHEET
ATL 1	ALTA / NSPS LAND TITLE SURVEY
ALT 2	ALTA / NSPS LAND TITLE SURVEY
V-1.0	EXISTING TREE SURVEY
C0.1	EXISTING CONDITIONS & REMOVALS PLAN
C1.0	SITE PLAN
C1.1	SIRHAL DRIVE CUL-DE-SAC PLAN & PROFILE
C2.0	GRADING & DRAINAGE PLAN
C3.0	UTILITY PLAN
C4.0	X-SECTIONS, NOTES, AND DETAILS
C4.1	X-SECTIONS, NOTES, AND DETAILS
C4.2	SIDEWALK & PATHWAY DETAIL SHEET
C4.3	WATER DISTRIBUTION SYSTEM DETAIL SHEET
C4.4	SANITARY SEWER DETAIL SHEET
L1.0	LANDSCAPE PLAN
L1.1	LANDSCAPE PLAN
A0-1	OVERALL PLANS - BUILDING 1
A0-2	OVERALL PLANS - BUILDING 2
A4-1	EXTERIOR ELEVATIONS - BUILDING 1
A4-2	EXTERIOR ELEVATIONS - BUILDING 2
E0.0	SITE PHOTOMETRIC PLAN

STANDARD CONSTRUCTION NOTES

- The Contractor shall notify the Charter Township of Meridian, Department of Public Works, Office of Engineering, ph# 517-853-4440, a minimum of 72 hours prior to the start of construction of public utilities or of construction within the public right-of-way.
- All construction shall conform to the current standards and specifications of the Charter Township of Meridian which are included as part of these plans in effect at the time of construction.
- After the completion of construction of public utilities or construction within public right-of-way, the contractor must request a final inspection. Any punchlist items resulting from the final inspection must be resolved prior to final release and acceptance.
- The existing utilities indicated on the plans are in accordance with available information. It shall be the contractor's obligation to verify the exact location of all existing utilities, which might affect this job.
- The contractor shall notify "MISS DIG" 1-800-482-7171 at least 72 hours prior to the start of construction.
- The contractor shall at all times be aware of inconvenience caused to the abutting property owners and the general public. Where the contractor does not remedy undue inconveniences, the Meridian Charter Township, upon four hours notice, reserves the right to perform the work and deduct the cost therefore from the money due the contractor.
- A Registered Land Surveyor provided by the contractor at the contractor's expense shall replace all property irons and monuments disturbed or destroyed by the contractor's operations.
- Contractor shall provide Owner and Township Engineer a copy of written permission to use private property for storage of equipment and materials or for his construction operations.
- Trench backfill under existing or proposed roadways, driveways, and parking areas, shall be sand or gravel, placed in 12" layers (maximum) and consolidated to 95% of maximum density as measured by modified proctor unless otherwise noted.
- Trees and shrubs are to be protected during construction and bored where necessary.
- Existing fences shall be removed and restored to their original condition or better where in conflict with construction.
- Driveways, culverts, ditches, drain tile, tile fields, drainage structures, etc., that are disturbed by the contractor's operations shall be immediately restored.
- All established lawn areas disturbed by the contractor's operations shall be resodded with matching sod. All other areas shall be seeded and mulched. Seeding and mulching shall be done in accordance with the General Specifications.
- All ditch slopes shall have established vegetation and be protected from erosion.
- All utility poles in close proximity to construction shall be supported in a manner satisfactory to the utility owner.
- Prior to acceptance of the public utility, one complete set of acceptable sealed as-built mylars, minimum 3 mills thick, and one diskette (AutoCAD format) of the site plans shall be submitted to the Office of Engineering.
- Onsite parking and sanitary facilities shall be provided for construction workers. The facilities shall be constructed and operated (with minimal impact to the surrounding area) to the satisfaction of the Township.



Know what's below.
Call before you dig.

For protection of underground utilities, the CONTRACTOR shall dial 1-800-482-7171 OR 811 a minimum of three working days, excluding Saturdays, Sundays and holidays, prior to excavation in the vicinity of utility lines. All "MISS DIG" participating members will thus be routinely notified. This does not relieve the CONTRACTOR of the responsibility of notifying the utility owners who may not be part of the "MISS DIG" alert system.

BENCH MARKS:

BM 1 TOP OF MAIN PUMPING VALVE ON HYDRANT ON NORTH SIDE OF SIRHAL DR. AT END OF ROAD.
Elevation: 852.38 (NAVD 88)

BM 2 TOP OF MAIN PUMPING VALVE ON HYDRANT AT NORTH SIDE OF REAR PARKING LOT OF WHOLE FOODS.
Elevation: 853.46 (NAVD 88)

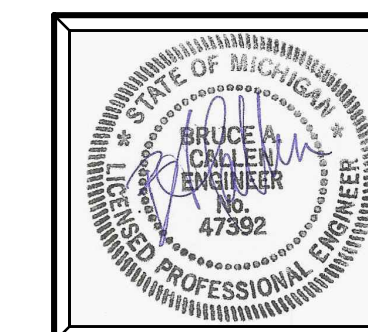
OWNER

WOODWARD WAY LDHA, LP
500 S. FRONT STREET, 10TH FLOOR
COLUMBUS, OHIO 43215
PHONE: 614-396-3200

PROJECT LOCATION

SECTION 17, T4N, R1W,
MERIDIAN TOWNSHIP,
INGHAM COUNTY, MICHIGAN

PRELIMINARY - NOT FOR CONSTRUCTION



Plan Prepared By:

Bruce A. Callen, P.E.
Callen Engineering, Inc.
108 E. Savidge St.
Spring Lake, Michigan 49456

Tel: 616-414-5260
email: bcallen@callenengineering.com

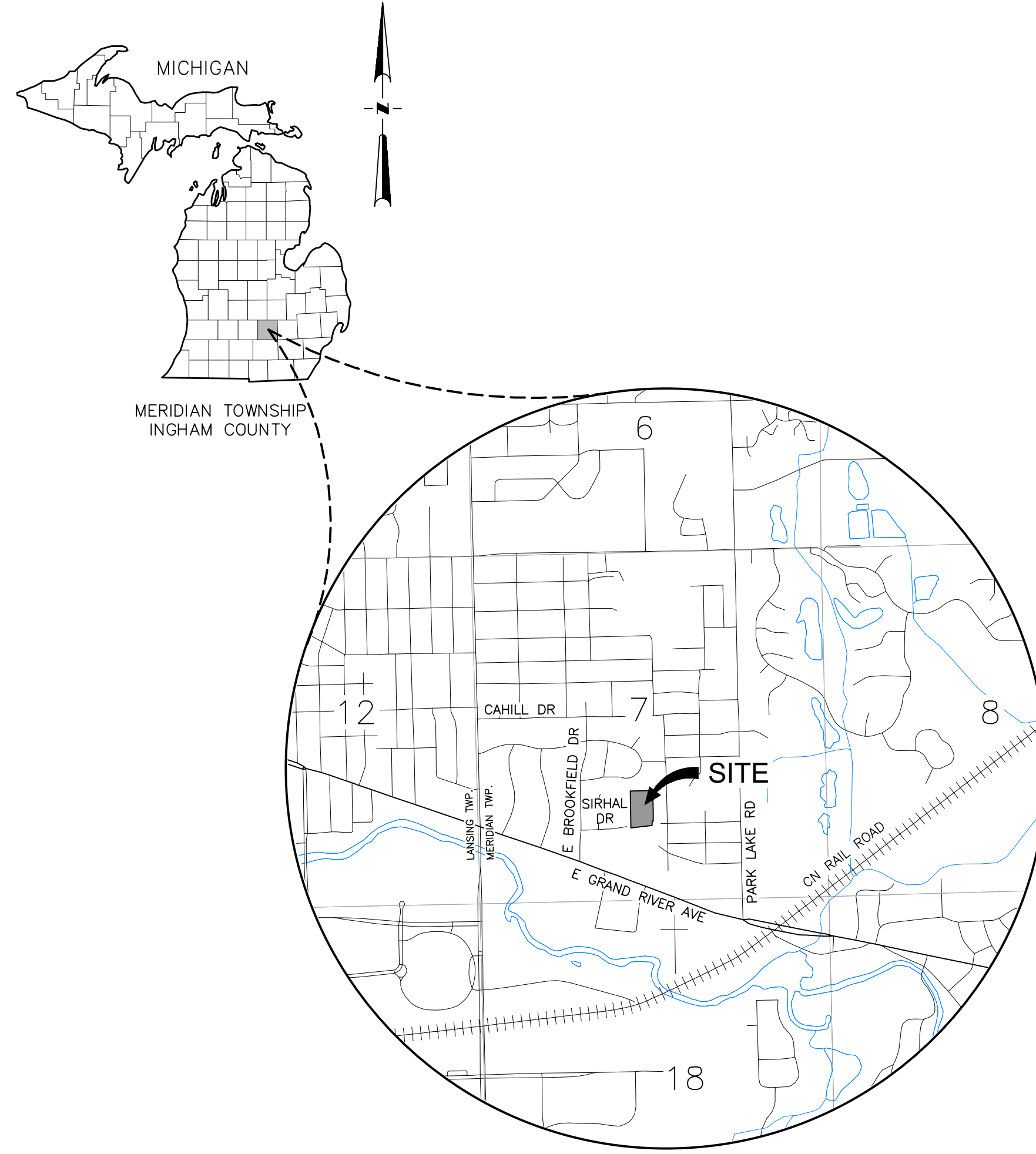
DATE OF PLAN: 08-17-21

ISSUANCES	
TOWNSHIP REVIEW	02-16-21
TOWNSHIP REVIEW / RFI #12	02-16-21
SIRHAL CUL-DE-SAC REVISIONS	06-29-21
SITE PLAN AND SLU REVIEW	08-17-21
REVISIONS	
DESIGNED BY:	CE
Callen Engineering, Inc. <i>municipal - commercial - residential</i>	
108 E. Savidge Street Spring Lake, Michigan 49456 Tel: 616-414-5260 Web: callenengineering.com	
Drawn by J.W.C.	Check B.A.C.
Engineer A.J.B.	
Callen Engineering Project No.	Sheet No.
020 WODA COOPER - WOODWARD WAY	CS

SCHEDULE B-SECTION II EXCEPTIONS

TITLE AGENCY: OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
 TITLE COMMITMENT NO: 18-1165
 EFFECTIVE DATE: NOVEMBER 04, 2020

- 10. RIGHT OF WAY FOR HIGHWAY PURPOSES GRANTED TO THE STATE HIGHWAY COMMISSION OF THE STATE OF MICHIGAN DATED MARCH 11, 1926, AND RECORDED MARCH 20, 1926, IN LIBER 11, PAGE 307, INGHAM COUNTY REGISTER OF DEEDS. (IT IS NOT ON, DOES NOT TOUCH, AND/OR-BASED ON THE DESCRIPTION CONTAINED IN THE RECORD DOCUMENT - DOES NOT AFFECT, THE SURVEYED PROPERTY)
- 11. RIGHT OF WAY GRANTED TO CONSUMERS POWER COMPANY DATED NOVEMBER 5, 1956, AND RECORDED NOVEMBER 9, 1956, IN LIBER 68, PAGE 476, INGHAM COUNTY REGISTER OF DEEDS. (IT IS NOT ON, DOES NOT TOUCH, AND/OR-BASED ON THE DESCRIPTION CONTAINED IN THE RECORD DOCUMENT - DOES NOT AFFECT, THE SURVEYED PROPERTY)
- 12. EASEMENT FOR STORM AND/OR SANITARY SEWERS, AND/OR WATERLINE PURPOSES GRANTED TO THE CHARTER TOWNSHIP OF MERIDIAN DATED DECEMBER 28, 1962, AND RECORDED FEBRUARY 21, 1963, IN LIBER 843, PAGE 820, INGHAM COUNTY REGISTER OF DEEDS. (ITS LOCATION IS SHOWN)
- 13. EASEMENT FOR STORM AND/OR SANITARY SEWERS, AND/OR WATERLINE PURPOSES GRANTED TO THE CHARTER TOWNSHIP OF MERIDIAN DATED DECEMBER 28, 1962, AND RECORDED FEBRUARY 21, 1963, IN LIBER 843, PAGE 822, INGHAM COUNTY REGISTER OF DEEDS. (ITS LOCATION IS SHOWN, DESCRIPTION IS SAME AS EXCEPTION 12)
- 14. EASEMENT FOR STORM AND/OR SANITARY SEWERS, AND/OR WATERLINE PURPOSES GRANTED TO THE CHARTER TOWNSHIP OF MERIDIAN DATED DECEMBER 28, 1962, AND RECORDED FEBRUARY 21, 1963, IN LIBER 843, PAGE 824, INGHAM COUNTY REGISTER OF DEEDS. (ITS LOCATION IS SHOWN)
- 15. TERMS AND CONDITIONS OF THE EASEMENT FOR RIGHT OF WAY DATED DECEMBER 22, 1964, AND RECORDED JANUARY 12, 1965, IN LIBER 886, PAGE 1213, INGHAM COUNTY REGISTER OF DEEDS. (IT IS NOT ON, DOES NOT TOUCH, AND/OR-BASED ON THE DESCRIPTION CONTAINED IN THE RECORD DOCUMENT - DOES NOT AFFECT, THE SURVEYED PROPERTY)
- 16. RIGHT OF WAY GRANTED TO CONSUMERS POWER COMPANY DATED MARCH 29, 1967, AND RECORDED FEBRUARY 27, 1968, IN LIBER 961, PAGE 1044, INGHAM COUNTY REGISTER OF DEEDS. (ITS LOCATION CANNOT BE DETERMINED FROM THE RECORD DOCUMENT)
- 17. EASEMENT AGREEMENT FOR SURFACE DRAINAGE AS EVIDENCED BY THE AFFIDAVIT MADE BY THOMAS S. KATALENICH ON BEHALF OF MODERN MOTELS TRAILER COURT, INC., DATED APRIL 27, 1970, AND RECORDED MAY 14, 1970, IN LIBER 1013, PAGE 1097, INGHAM COUNTY REGISTER OF DEEDS. (ITS LOCATION CANNOT BE DETERMINED FROM THE RECORD DOCUMENT)
- 18. EASEMENT GRANTED TO CONSUMERS POWER COMPANY DATED NOVEMBER 5, 1969, AND RECORDED OCTOBER 8, 1970, IN LIBER 1025, PAGE 477, INGHAM COUNTY REGISTER OF DEEDS. (ITS LOCATION CANNOT BE DETERMINED FROM THE RECORD DOCUMENT)
- 19. EASEMENT GRANTED TO CONSUMERS POWER COMPANY DATED NOVEMBER 5, 1969, AND RECORDED OCTOBER 8, 1970, IN LIBER 1025, PAGE 481, INGHAM COUNTY REGISTER OF DEEDS. (ITS LOCATION CANNOT BE DETERMINED FROM THE RECORD DOCUMENT)
- 20. EASEMENT GRANTED TO CONSUMERS POWER COMPANY DATED NOVEMBER 1, 1971, AND RECORDED AUGUST 21, 1972, IN LIBER 1081, PAGE 960, INGHAM COUNTY REGISTER OF DEEDS. (ITS LOCATION CANNOT BE DETERMINED FROM THE RECORD DOCUMENT)
- 21. EASEMENT GRANTED TO CONSUMERS POWER COMPANY, DATED JANUARY 26, 1980, AND RECORDED JULY 29, 1980, IN LIBER 1336, PAGE 936, INGHAM COUNTY REGISTER OF DEEDS. (ITS LOCATION CANNOT BE DETERMINED FROM THE RECORD DOCUMENT)
- 22. FENCE MAINTENANCE AGREEMENT DATED JUNE 17, 1988, AND RECORDED JULY 1, 1991, IN LIBER 1888, PAGE 403, INGHAM COUNTY REGISTER OF DEEDS. (IT IS NOT ON, DOES NOT TOUCH, AND/OR-BASED ON THE DESCRIPTION CONTAINED IN THE RECORD DOCUMENT - DOES NOT AFFECT, THE SURVEYED PROPERTY)
- 23. EASEMENT GRANTED TO COMCAST OF MICHIGAN, LLC DATED FEBRUARY 21, 2003, AND RECORDED MAY 21, 2003, IN LIBER 3031, PAGE 104, INGHAM COUNTY REGISTER OF DEEDS. (IT APPEARS TO BE A BLANKET EASEMENT OVER SUBJECT PARCEL)
- 24. RESTRICTIVE COVENANTS AND PROHIBITED USES DESCRIBED IN THE LEASE AGREEMENT BY AND BETWEEN G & A ASSOCIATES LLC, A MICHIGAN LIMITED LIABILITY COMPANY, LANDLORD, AND WHOLE FOODS MARKET GROUP, INC., A DELAWARE CORPORATION, TENANT, AS EVIDENCED BY THE MEMORANDUM OF LEASE DATED EFFECTIVE AS OF JULY 24, 2013, AND RECORDED NOVEMBER 20, 2014, IN DOCUMENT NO. 2014-044026, INGHAM COUNTY REGISTER OF DEEDS. (THE SUBJECT PARCEL IS A PORTION OF THE PARCEL DESCRIBED IN EXHIBIT "A")
- 25. EASEMENT FOR WATER MAIN PURPOSES GRANTED TO THE CHARTER TOWNSHIP OF MERIDIAN DATED MARCH 24, 2016, AND RECORDED SEPTEMBER 2, 2016, IN DOCUMENT NO. 2016-031940, INGHAM COUNTY REGISTER OF DEEDS. (ITS LOCATION IS SHOWN)
- 26. PROCTOR DRAIN AND 50' UTILITY EASEMENT APPEARING ON THE PLAT OF EASTWOOD ACRES SUBDIVISION, OF RECORD IN LIBER 17 OF PLATS, PAGE 37, INGHAM COUNTY REGISTER OF DEEDS. (ITS LOCATION IS SHOWN)
- 27. EASEMENT FOR UNDERGROUND ELECTRIC FACILITIES GRANTED TO THE CITY OF LANSING, BOARD OF WATER AND LIGHT, DATED JANUARY 12, 2018, AND RECORDED JANUARY 26, 2018, IN DOCUMENT NO. 2018-002867, INGHAM COUNTY REGISTER OF DEEDS. (NOTE: THIS INSTRUMENT STATES THE NAME OF THE GRANTOR AS "A&G ASSOCIATES, THE RECORD TITLE HOLDER IS "G & A ASSOCIATES LLC.") (ITS LOCATION IS SHOWN)
- 28. FOR INFORMATION ONLY: AFFIDAVIT OF FACTS RELATING TO THE DEED RECORDED IN DOCUMENT NO. 2014-000973, DATED JUNE 19, 2014, AND RECORDED JUNE 23, 2014, IN DOCUMENT NO. 2014-024464, INGHAM COUNTY REGISTER OF DEEDS. (NOT SURVEY RELATED)
- 29. FOR INFORMATION ONLY: AFFIDAVIT OF SCRIVENER ERROR RELATING TO THE DEED RECORDED IN DOCUMENT NO. 2014-000973, DATED MAY 1, 2015 AND RECORDED MAY 11, 2015, IN DOCUMENT NO. 2015-018766, INGHAM COUNTY REGISTER OF DEEDS. (NOT SURVEY RELATED)



LOCATION MAP

LEGAL DESCRIPTION (AS PROVIDED)

(PER TITLE AGENCY: OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, TITLE COMMITMENT NO: 18-1165, EFFECTIVE DATE: NOVEMBER 04, 2020)

SCHEDULE A, EXHIBIT "A" DESCRIPTION:

A PART OF THE SOUTH 1/2 OF SECTION 7, TOWN 4 NORTH - RANGE 1 WEST, MERIDIAN TOWNSHIP, INGHAM COUNTY, STATE OF MICHIGAN MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTH 1/4 CORNER OF SAID SECTION 17, THENCE ALONG THE NORTH-SOUTH 1/4 LINE OF SAID SECTION 17, N00°11'46"W, 1693.16 FEET TO THE POINT OF BEGINNING OF THE PARCEL TO BE DESCRIBED, SAID POINT BEING S00°11'46"E, 991.94 FEET FROM THE CENTER OF SAID SECTION 17; PROCEEDING THENCE FROM SAID POINT OF BEGINNING ALONG THE SOUTH LINE OF LOT 4 OF IRWIN PARK AS RECORDED IN LIBER 25, PAGE 45 OF INGHAM COUNTY RECORDS, N89°44'12"E, 18.59 FEET TO THE WEST LINE OF SAID LOT 4;
 THENCE ALONG SAID WEST LINE OF IRWIN PARK TO THE SOUTHWEST CORNER OF LOT 1 OF SAID IRWIN PARK, S00°15'54"E, 332.69 FEET;
 THENCE S00°13'23"E, 141.00 FEET THRU LOT 67 OF EASTWOOD ACRES SUBDIVISION AS RECORDED IN LIBER 17, PAGE 37 OF THE INGHAM COUNTY RECORDS TO THE NORTH LINE OF GREENCLIFF DRIVE;
 THENCE ALONG SAID NORTH LINE OF GREENCLIFF DRIVE, S89°47'43"W, 19.98 FEET TO THE WEST LINE OF SAID GREENCLIFF DRIVE;
 THENCE ALONG SAID WEST LINE OF GREENCLIFF DRIVE, S00°13'47"E, 66.00 FEET;
 THENCE S83°55'29"W, 328.27 FEET TO THE SOUTHEAST CORNER OF SIRHAL DRIVE (66 FOOT WIDE - PUBLIC - RIGHT-OF-WAY);
 THENCE N00°00'34"W, 571.87 FEET TO A POINT ON THE SOUTH LINE OF EAST BROOKFIELD;
 THENCE ALONG SAID SOUTH LINE OF EAST BROOKFIELD, N89°33'08"E, 325.56 FEET TO THE POINT OF BEGINNING CONTAINING 4.368 ACRES, ALSO SUBJECT TO ANY OTHER EASEMENTS OR RESTRICTIONS OF RECORDS.

**WOODWADR WAY
 ALTA/NSPS LAND TITLE SURVEY**

TABLE A ITEM NOTES

- ITEM 1: 1, 4, 7(a), 7(b)(1), 8 & 13.
 (SEE PLAN VIEW ON ALT-2 SHEET FOR MORE INFORMATION)
- ITEM 2: THERE IS NO POSTED ADDRESS ON SITE; NO BUILDINGS WERE OBSERVED, SUBJECT PROPERTY IS VACANT LAND.
- ITEM 3: FLOOD ZONE
 FEMA MAP SCALES DO NOT SUPPLY SUFFICIENT LEVEL OF DETAIL TO PLOT ACCURATELY. ZONES IF PLOTTED HEREIN ARE APPROXIMATE.
- BY SCALED MAP LOCATION AND GRAPHIC PLOTTING ONLY, THE SUBJECT PROPERTY APPEARS TO LIE ENTIRELY IN ZONE (X) AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOOD PLAIN ACCORDING TO THE FLOOD INSURANCE RATE MAP FOR THE COUNTY OF INGHAM, COMMUNITY PANEL NO. (26065C0152D), EFFECTIVE DATE AUGUST 16, 2011.
- ITEM 9: EXISTING PARKING
 THERE ARE NO STRIPED PARKING SPACES ON THE SUBJECT PROPERTY.
- ITEM 16: AT THE TIME OF THIS SURVEY, THERE WAS NO OBSERVED SURFACE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS WITHIN RECENT MONTHS.
- ITEM 17: AT THE TIME OF THIS SURVEY, THERE WAS NO OBSERVED EVIDENCE OF ANY RECENT CHANGES IN STREET RIGHT-OF-WAY LINES EITHER COMPLETED OR PROPOSED, AND AVAILABLE FROM THE CONTROLLING JURISDICTION.

SHEET INDEX

- ALT-1 = ALTA COVER
- ALT-2 = ALTA SURVEY

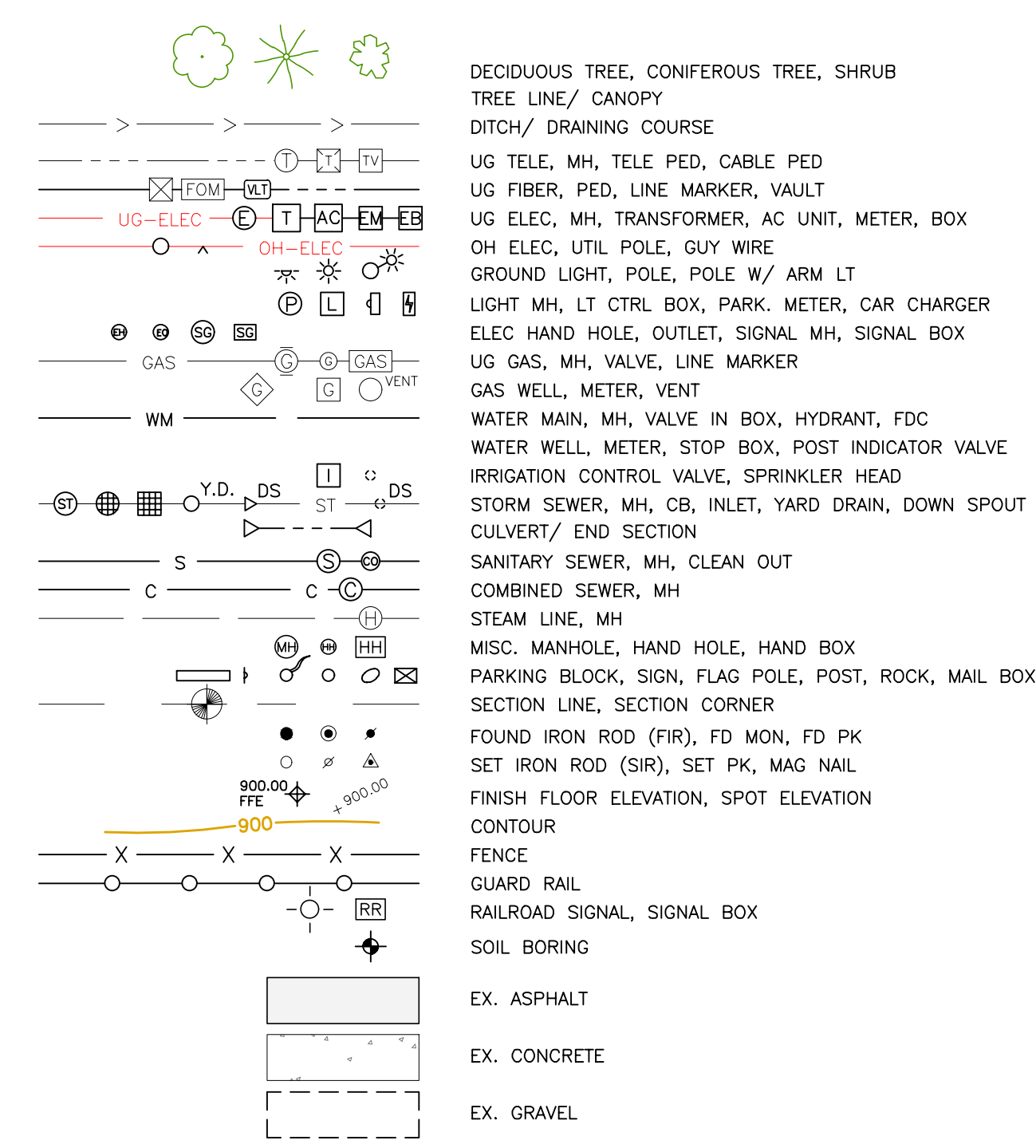
SURVEY REFERENCE

- 1. GEODETIC DESIGNS, INC., JOB NO.: S140-2013, DATED: AUGUST 10, 2013.

BEARING REFERENCE

BEARINGS ARE BASED ON PROJECT COORDINATE SYSTEM: MICHIGAN STATE PLANE COORDINATE SYSTEM, NAD83 (CONUS) (M01) (GRS80), SOUTH ZONE 2113, INTERNATIONAL FEET, GROUND (LAT: N42°43'40.80", LON: W84°27'14.40", ELEV: 851, SCALE FACTOR: 1.00012476).

EXISTING LEGEND



MISCELLANEOUS NOTES

- 1. THERE IS DIRECT ACCESS TO THE SUBJECT PROPERTY VIA SIRHAL DRIVE, A PUBLIC RIGHT-OF-WAY. GREENCLIFF DRIVE IS NOT MAINTAINED AT THIS TIME, BUT PER CONVERSATION WITH THE INGHAM COUNTY ROAD COMMISSION, IT IS STILL A PUBLIC RIGHT OF WAY.
- 2. THE PROPERTY SURVEYED AND SHOWN HEREON IS THE SAME PROPERTY DESCRIBED IN SCHEDULE A OF TITLE AGENCY: OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, TITLE COMMITMENT NO: 18-1165, EFFECTIVE DATE: NOVEMBER 04, 2020.

UTILITY NOTES

- 1. THE SITE WAS ONCE A TRAILER PARK AND MULTIPLE TYPES OF UTILITY LINES THAT SERVICED THE INDIVIDUAL SITES MAY STILL BE IN THE GROUND.
- 2. ALL FRANCHISE UTILITIES (GAS, FIBER, CABLE, UG ELEC., TELE.) SHOW ARE BASED ON MISS DIG MARKINGS LOCATED AT TIME OF SURVEY UNLESS NOTED OTHERWISE.
- 3. THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

UTILITY REFERENCE

WM:	MERIDIAN TOWNSHIP ~ LANSING BOARD WATER & LIGHT
RECEIVED:	12/3/20
SAN:	MERIDIAN TOWNSHIP
RECEIVED:	NO RESPONSE
STORM:	MERIDIAN TOWNSHIP ~ INGHAM CO. DRAIN COMMISSION
RECEIVED:	NO RESPONSE
GAS:	CONSUMERS ENERGY
RECEIVED:	12/3/20
ELEC:	CONSUMERS ENERGY
RECEIVED:	N/A
PHONE/CABLE:	AT&T ~ COMCAST ~ SPECTRUM BROAD BAND ~ METRO FIBERNET
RECEIVED:	12/8/20 ~ NO RESPONSE ~ NO RESPONSE ~ 12/4/20

CERTIFICATION

TO: OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 7(a), 7(b)(1), 8, 9, 13, 16 & 17 OF TABLE A THEREOF.

THE FIELD WORK WAS COMPLETED ON 12/9/2020.

MARC E. BUDZINSKI, PS
 PROFESSIONAL SURVEYOR NO. 4001053492

12/10/2020
 DATE OF PLAT OR MAP:

THIS SURVEY PLAT WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS, OR ENTITY NAMED IN THE CERTIFICATION HEREON. SAID CERTIFICATION DOES NOT EXTEND TO ANY UNNAMED THIRD PERSON WITHOUT AN EXPRESS RECERTIFICATION BY THE SURVEYOR NAMING SAID THIRD PERSON.



Call MISS DIG
 3 full working days before you dig.

Utility Notification Organization
 Michigan's One-Call
 1-800-482-7171
 www.missdig.org

THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

CLIENT :
WODA COOPER COMPANIES, INC.
 500 S. FRONT ST.,
 10TH FLOOR
 COLUMBUS, OH 43215

ALTA/NSPS LAND TITLE SURVEY
 WOODWARD WAY
 SIRHAL DRIVE, EAST LANSING
 PART OF SW 1/4, SEC. 17, T4N-R1W
 MERIDIAN TOWNSHIP, INGHAM COUNTY, MICHIGAN

DATE	
PLAN SUBMITTALS/REVISIONS	

ORIGINAL ISSUE DATE:
 12/4/2020

PROJECT NO: 19-022

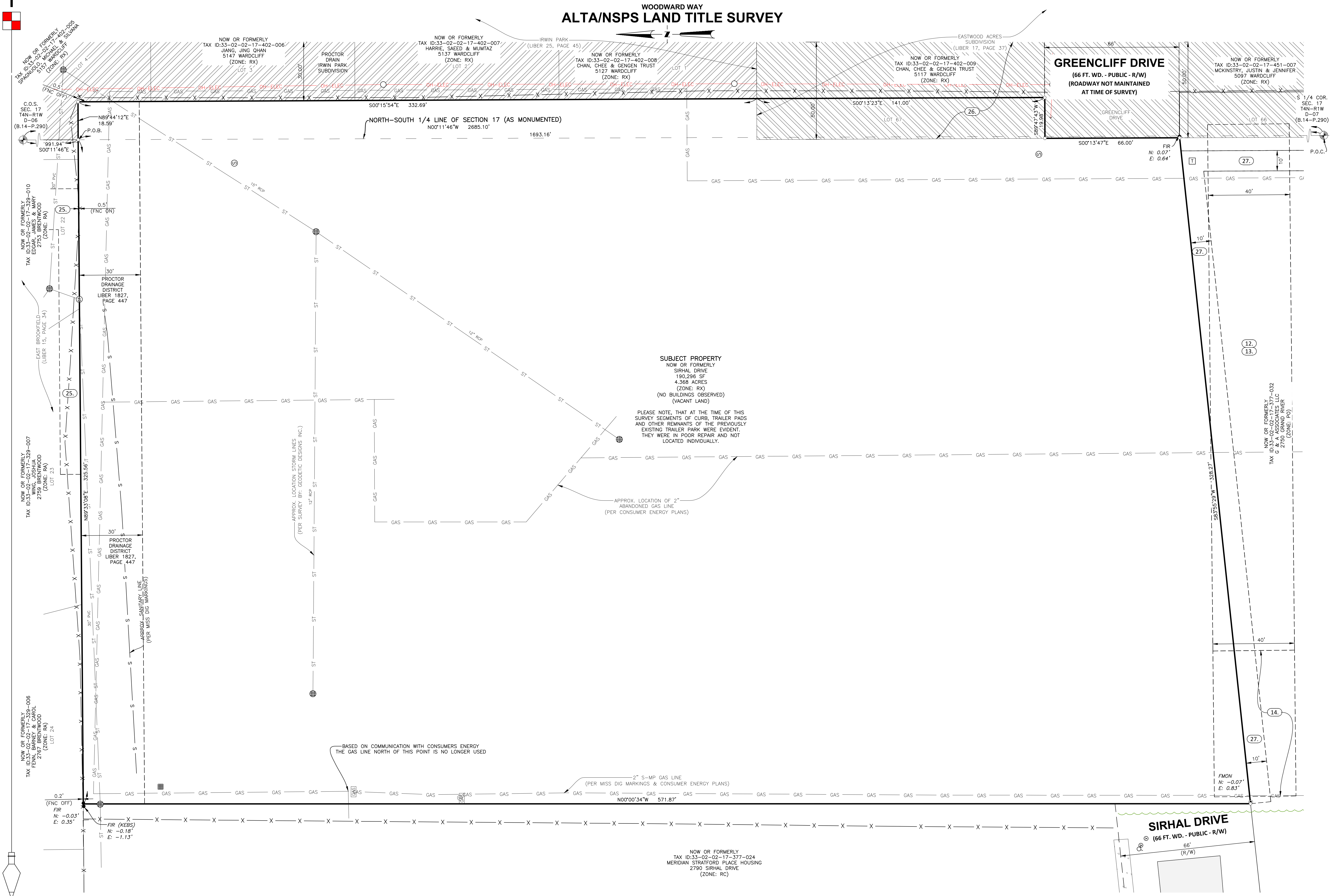
SCALE: N/A

FIELD:
 DRAWN BY: DC
 DESIGN BY: N/A
 CHECK BY: MB

ALT-1

NOT FOR CONSTRUCTION

WOODWARD WAY
ALTA/NSPS LAND TITLE SURVEY



SUBJECT PROPERTY
NOW OR FORMERLY
SIRHAL DRIVE
190,296 SF
4.368 ACRES
(ZONE: RX)
(NO BUILDINGS OBSERVED)
(VACANT LAND)

PLEASE NOTE, THAT AT THE TIME OF THIS SURVEY SEGMENTS OF CURB, TRAILER PADS AND OTHER REMNANTS OF THE PREVIOUSLY EXISTING TRAILER PARK WERE EVIDENT. THEY WERE IN POOR REPAIR AND NOT LOCATED INDIVIDUALLY.

APPROX. LOCATION OF 2" ABANDONED GAS LINE (PER CONSUMER ENERGY PLANS)

BASED ON COMMUNICATION WITH CONSUMERS ENERGY THE GAS LINE NORTH OF THIS POINT IS NO LONGER USED

2" S-MP GAS LINE (PER MISS DIG MARKINGS & CONSUMER ENERGY PLANS)

ENGINEERS - SURVEYORS
CONSULTANTS - LAND PLANNERS

298 VETERANS DRIVE
FOWLERVILLE,
MICHIGAN 48836
(OFFICE) 517-223-3512
MONUMENTENGINEERING.COM
SERVICE DISABLED VETERAN OWNED
SMALL BUSINESS (SDVOSB)

DRAFT

Call MISS DIG
3 full working days before you dig:
Michigan's Utility
One-Call Notification
Organization
1-800-482-7171
www.missdig.org

CLIENT :
WODA COOPER COMPANIES, INC.
500 S. FRONT ST.,
10TH FLOOR
COLUMBUS, OH 43215

ALTA/NSPS LAND TITLE SURVEY
WOODWARD WAY
SIRHAL DRIVE, EAST LANSING
PART OF SW 1/4, SEC. 17, T4N-R1W
MERIDIAN TOWNSHIP, INGHAM COUNTY, MICHIGAN

PLAN SUBMITTALS/REVISIONS	DATE

ORIGINAL ISSUE DATE:
12/4/2020

PROJECT NO: 19-022

SCALE: N/A
0 1/2" 1"

FIELD:
DRAWN BY: DC
DESIGN BY: N/A
CHECK BY: MB

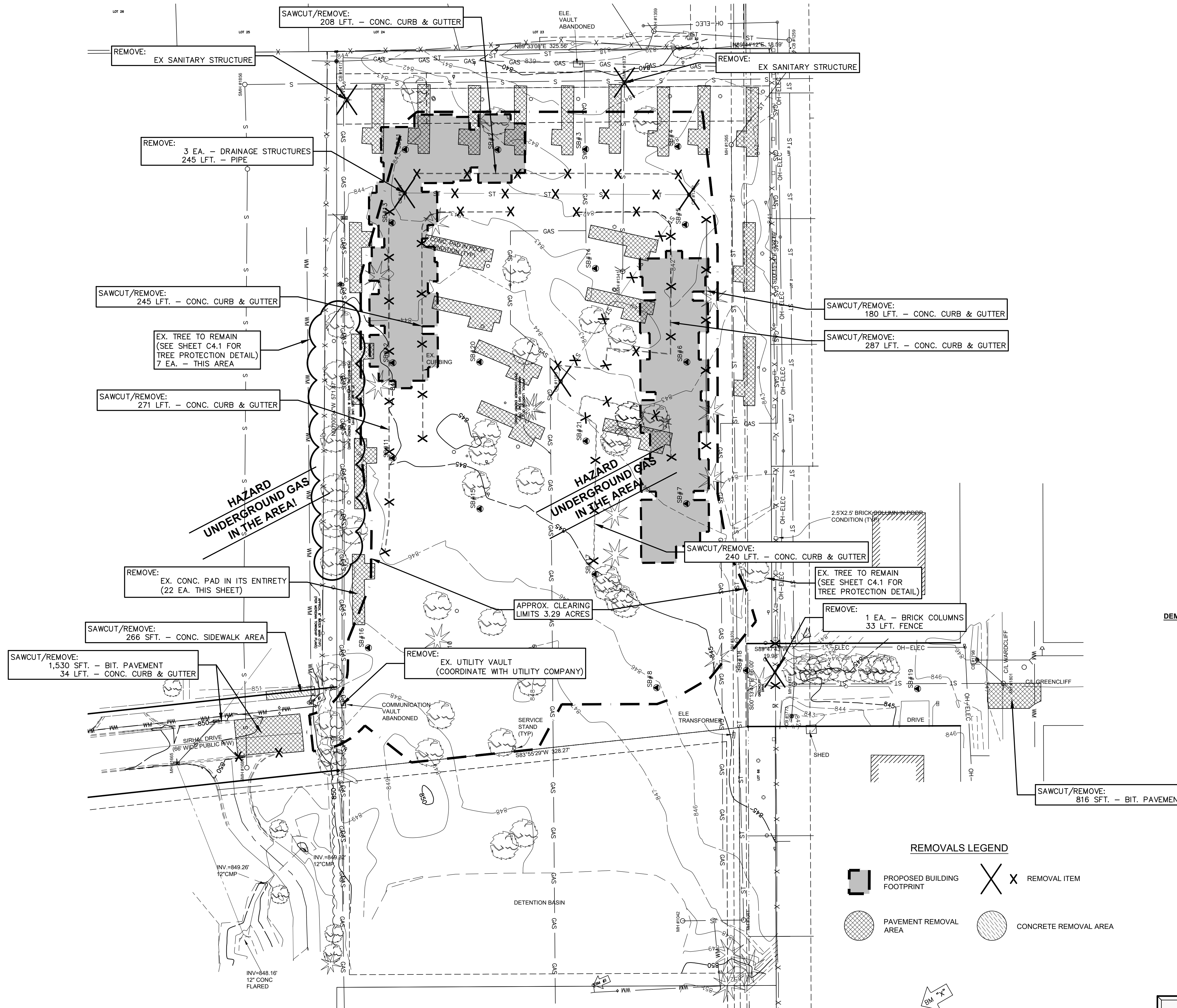
ALT-2

NOT FOR CONSTRUCTION

NO.	ISSUANCE / REVISION	DATE
1	TOWNSHIP REVIEW / RFI #12	09/22/21
2	SIRHAL CUL-DE-SAC REVISION	09/29/21
3	PRELIMINARY DRAIN COMMISSION REVIEW	08/06/21
4	PRELIMINARY DRAIN COMMISSION REVIEW	08/17/21
5	REVISION IN ACCORDANCE WITH CONSTRUCTION RECORDS	

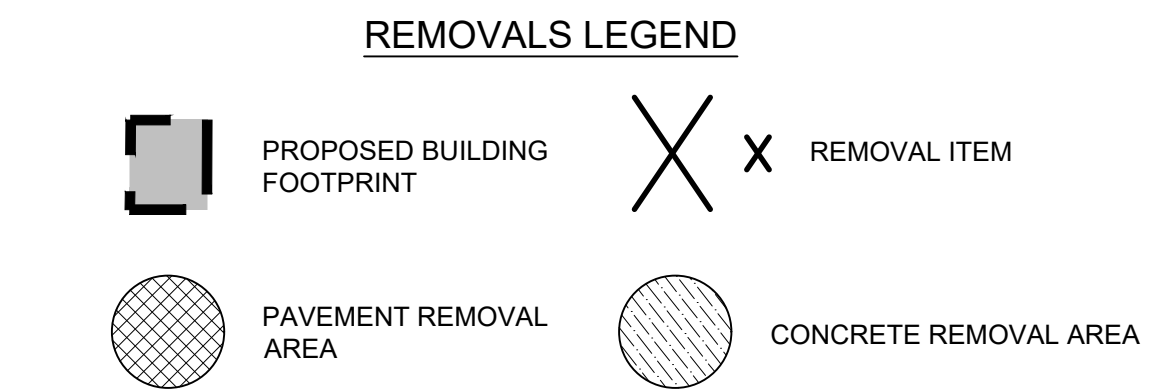
WOODWARD WAY APARTMENTS
 2720 - 2780 SIRHAL DRIVE
 MERIDIAN TOWNSHIP
 INGHAM COUNTY, MICHIGAN
 EXISTING CONDITIONS & REMOVALS PLAN

PROJECT	DATE
020 WOODWARD WAY	DEC '20
AS NOTED	DEC '20
SCALE	AUG '21
DRAWING	1:1
PROJECT	020 WOODWARD WAY
SHEET NO.	C0.1

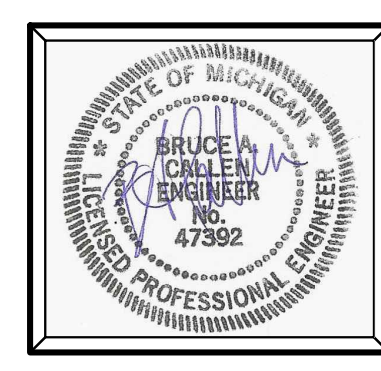


Property Address: 0 Sirhal Drive
 Parcel Number: 33-02-02-17-377-031
 Property Description:
 A part of the South 1/2 of Section 7, Town 4 North - Range 1 West, Meridian Township, Ingham County, State of Michigan more particularly described as follows:
 Commencing at the South 1/4 corner of said Section 17, then along the North-South 1/4 line of said Section 17, N00°11'46"W, 1693.16 feet to the POINT OF BEGINNING of the Parcel to be described, said point being S00°11'46"E, 991.94 feet from the Center of said Section 17;
 proceeding thence from said POINT OF BEGINNING along the South line of Lot 4 of Irwin Park as recorded in Liber 25, Page 45 of Ingham County Records, N89°44'12"E, 18.59 feet to the West line of said Lot 4;
 thence along said West line of Irwin Park to the Southwest corner of Lot 1 of said Irwin Park, S00°15'54"E, 332.69 feet;
 thence S00°13'23"E, 141.00 feet thru Lot 67 of Eastwood Acres Subdivision as recorded in Liber 17, Page 37 of the Ingham County Records to the North line of Greenciff Drive;
 thence along said North line of Greenciff Drive, S89°47'43"W, 19.98 feet to the West line of said West line of Greenciff Drive, S00°13'47"E, 66.00 feet;
 thence S83°55'29"W, 328.27 feet to the Southeast corner of Sirhal Drive (66 Foot Wide - Public - Right-of-Way);
 thence N00°00'34"W, 571.87 feet to a point on the South line of East Brookfield;
 thence along said South line of East Brookfield, N89°33'08"E, 325.56 feet to the POINT OF BEGINNING containing 4.368 acres, also subject to any other easements or restrictions of records.
 Total Acreage: 4.37 Acres (190,268 sq. ft.)
 Property Zoning: RC - MULTIPLE FAMILY (14 UNITS PER ACRE)
 Setbacks:
 Front: 50 ft.
 Side: 50 ft. East Side, 25 ft. West side
 Rear: 25 ft.
 Maximum Allowable Building Height: 3 Stories or 40 ft.

DEMOLITION NOTES
 CONCRETE SLABS SHOWN ARE THOSE THAT WERE VISIBLE AT THE TIME OF THE TOPOGRAPHICAL SURVEY. ADDITIONAL CONCRETE SLABS AND OTHER REMNANTS OF THE MOBILE HOME PARK MAY EXIST THAT WERE NOT VISIBLE/IDENTIFIED DURING THE TOPOGRAPHICAL SURVEY FIELD WORK. CONTRACTOR SHALL CONTACT THE OWNER AND/OR ENGINEER TO REVIEW HISTORICAL RECORDS THAT MAY REVEAL ADDITIONAL FEATURES THAT MAY OR MAY NO LONGER EXIST.
 REMOVE AND CAP ALL EXISTING WATER SERVICES, GAS AND ELECTRIC SERVICE LEADS AT R.O.W. COORDINATE REMOVAL WITH RESPECTIVE UTILITY COMPANIES.
 CONTRACTOR SHALL BE RESPONSIBLE FOR APPLYING FOR AND OBTAINING ALL NECESSARY DEMOLITION PERMITS AND PAYING FOR ANY ASSOCIATED PERMIT FEES.
 NOTIFY ARCHITECT/ENGINEER OF ANY OTHER UNDERGROUND MATERIALS OR EQUIPMENT ENCOUNTERED DURING EXCAVATION NOT SPECIFICALLY NOTED ON THE DRAWING(S).
 WHERE CURBING OR PAVEMENT IS INDICATED TO BE REMOVED, IT SHALL BE SAWCUT FULL DEPTH. REMOVE TO THE NEAREST JOINT, IF THE JOINT IS WITHIN 3 FEET OF THE REMOVAL LINE. VERIFY REMOVAL LIMITS WITH ENGINEER PRIOR TO BEGINNING WORK.



BENCH MARKS:
 BM 1 TOP OF MAIN PUMPING VALVE ON HYDRANT ON NORTH SIDE OF SIRHAL DR. AT END OF ROAD. Elevation: 852.38 (NAVD 88)
 BM 2 TOP OF MAIN PUMPING VALVE ON HYDRANT AT NORTH SIDE OF REAR PARKING LOT OF WHOLE FOODS. Elevation: 853.46 (NAVD 88)



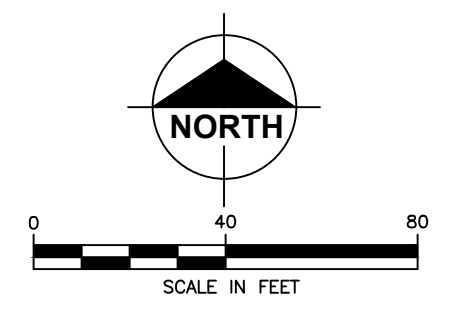
Plan Prepared By:
 Bruce A. Callen, P.E.
 Callen Engineering, Inc.
 108 E. Savidge St.
 Spring Lake, Michigan 49456
 Tel: 616-414-5260
 email: bcallen@callenengineering.com

For protection of underground utilities, the CONTRACTOR shall dial 1-800-482-7171 OR 811 a minimum of three working days, excluding Saturdays, Sundays and holidays, prior to excavation in the vicinity of utility lines. All "MISS DIG" participating members will thus be routinely notified. This does not relieve the CONTRACTOR of the responsibility of notifying the utility owners who may not be part of the "MISS DIG" alert system.

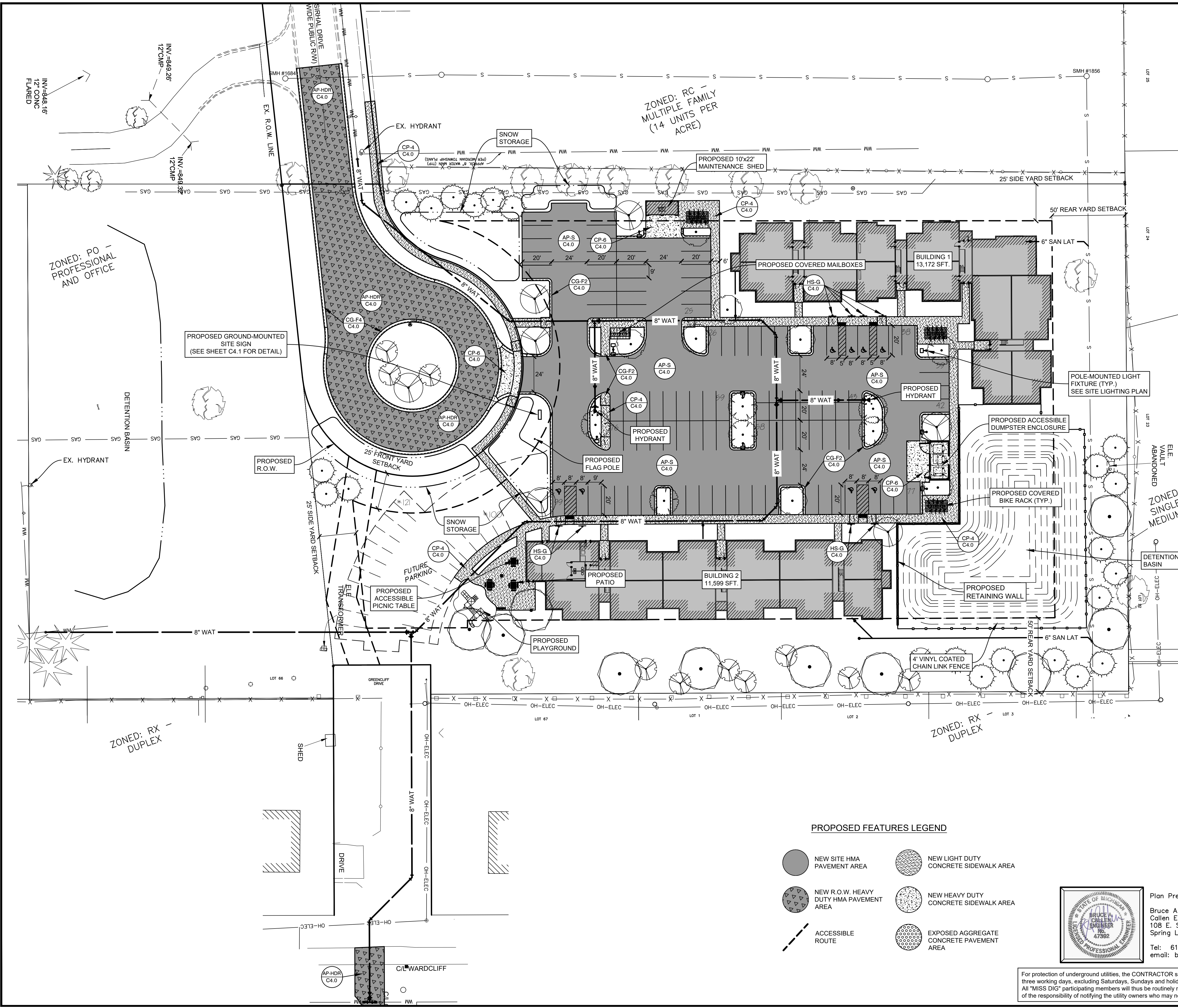
811
 Know what's below.
 Call before you dig.
 DATE OF PLAN: 08-17-21

Lake Michigan Surveying LLC
 Lake Michigan Surveying, LLC
 108 E. Savidge Street
 Spring Lake, Michigan 49456
 Tel: (616)-843-7599

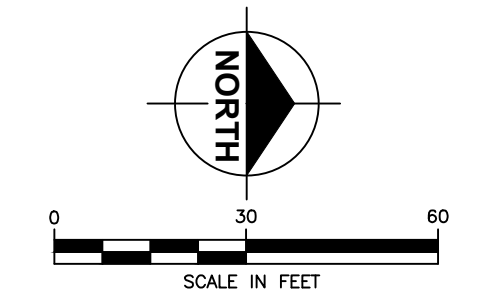
TOPOGRAPHIC SURVEY PERFORMED BY LAKE MICHIGAN SURVEYING, LLC.
 BOUNDARY ALTA SURVEY PERFORMED BY MONUMENT ENGINEERING GROUP ASSOCIATES, INC. (MEGA)



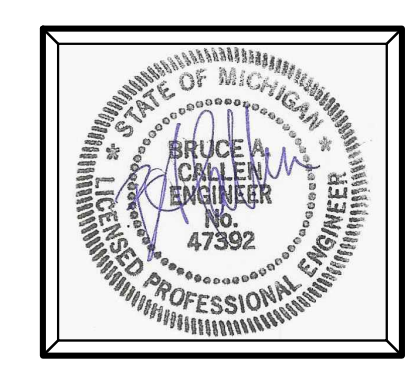
PRELIMINARY - NOT FOR CONSTRUCTION



- GENERAL NOTES**
- PROJECT INCLUDES CONSTRUCTION OF A NEW DEVELOPMENT CONSISTING OF 49 RESIDENTIAL UNITS IN 2 - TWO STORY BUILDINGS AND RELATED PARKING, SIRHAL DRIVE CUL-DE-SAC, LANDSCAPING, SIGNAGE, LIGHTING, UTILITIES, AND STORM WATER DRAINAGE FACILITIES.
 - THE DEVELOPMENT SHALL BE SERVED BY PUBLIC WATER MAIN AND PUBLIC SANITARY SEWER.
 - ACCESS TO THE DEVELOPMENT SHALL BE VIA AN EXTENSION OF SIRHAL DRIVE.
 - STORM DRAINAGE SHALL BE DETAINED ON SITE, AND DISCHARGED TO THE PROCTOR DRAIN AT A CONTROLLED RATE, MEETING THE REQUIREMENTS OF INGHAM COUNTY GUIDELINES FOR STORM WATER MANAGEMENT.
 - PARKING AND DRIVE AREAS SHALL BE PAVED WITH BITUMINOUS AND CONCRETE PAVEMENTS.
 - PARKING: REQUIRED: 2 SPACES PER DWELLING UNIT, PLUS EXPANSION CAPACITY OF 25%.
 - DWELLING UNITS = 49 APARTMENT UNITS (49*2) = 98 PARKING SPACES
TOTAL = 98 SPACES
 - EXPANSION CAPACITY = 25% (98*0.25) = 25 PARKING SPACES
TOTAL = 25 SPACES
 - PROVIDED: 99 SPACES, INCLUDING EIGHT (8) BARRIER FREE SPACES.
 - 22 EXPANSION AREA SPACES
24 BICYCLE SPACES
 - TOTAL = 145 SPACES, INCLUDING EIGHT (8) BARRIER FREE SPACES, AND 24 BICYCLE SPACES.**
 - NEW SIGNAGE SHALL CONFORM TO THE REQUIREMENTS OF THE MERIDIAN TOWNSHIP ZONING ORDINANCE.
 - PROPOSED SITE LIGHTING SHALL CONSIST OF POLE-MOUNTED FIXTURES, DIRECTED TO INHIBIT LIGHTING BEYOND PROPERTY LIMITS, MEETING THE REQUIREMENTS OF APPLICABLE SECTIONS OF THE MERIDIAN TOWNSHIP ZONING ORDINANCE.
 - LANDSCAPING AND SCREENING SHALL MEET THE INTENT OF MERIDIAN TOWNSHIP ZONING ORDINANCE.
 - ALL PAVEMENT MARKINGS AND SIGNS SHALL CONFORM TO THE STANDARDS SET FORTH IN THE CURRENT EDITION OF THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.



- PROPOSED FEATURES LEGEND**
- NEW SITE HMA PAVEMENT AREA
 - NEW LIGHT DUTY CONCRETE SIDEWALK AREA
 - NEW R.O.W. HEAVY DUTY HMA PAVEMENT AREA
 - NEW HEAVY DUTY CONCRETE SIDEWALK AREA
 - ACCESSIBLE ROUTE
 - EXPOSED AGGREGATE CONCRETE PAVEMENT AREA



Plan Prepared By:
 Bruce A. Callen, P.E.
 Callen Engineering, Inc.
 108 E. Savidge St.
 Spring Lake, Michigan 49456
 Tel: 616-414-5260
 email: bcallen@callenengineering.com

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Know what's below.
Call before you dig.
 DATE OF PLAN: 08-17-21

Callen Engineering, Inc.
 municipal - commercial - residential
 108 E. Savidge Street
 Spring Lake, Michigan 49456
 Tel: 616-414-5260 Web: callenengineering.com

WOODWARD WAY LDHA, LP
 500 S. FRONT STREET, 10TH FLOOR
 COLUMBUS, OHIO 43215

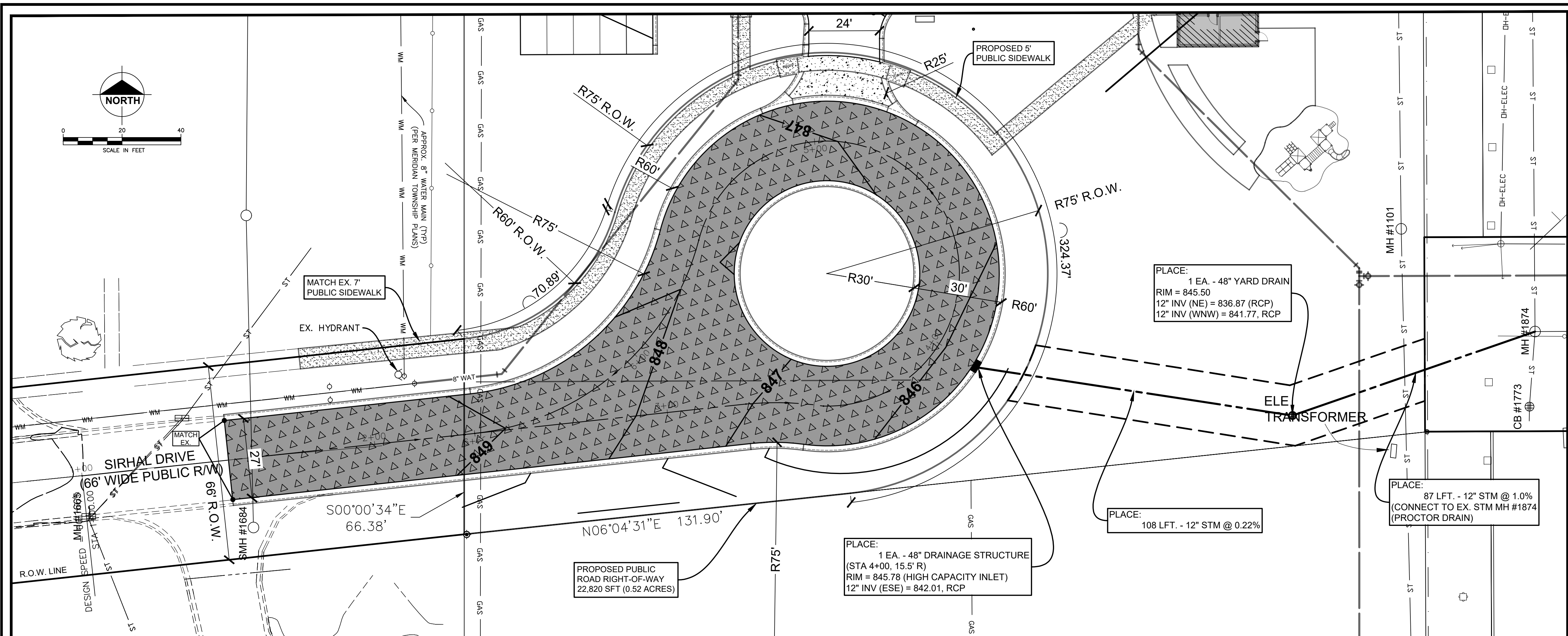
NO.	ISSUANCE / REVISION	DATE
1	SIRHAL DRIVE-SAC REVISIONS	06/29/21
2	SITE PLAN REVIEW	08/05/21
3	PRELIMINARY DRAIN COMMISSION REVIEW	08/06/21
4	SITE PLAN AND SUJ REVIEW	09/17/21

WOODWARD WAY APARTMENTS
 2720 - 2780 SIRHAL DRIVE
 MERIDIAN TOWNSHIP
 INGHAM COUNTY, MICHIGAN
 SITE PLAN

NO.	DATE	SCALE
1	J.W.C. DEC '20	AS NOTED
2	A.J.B. DEC '20	1:1
3	J.W.C. AUG '21	

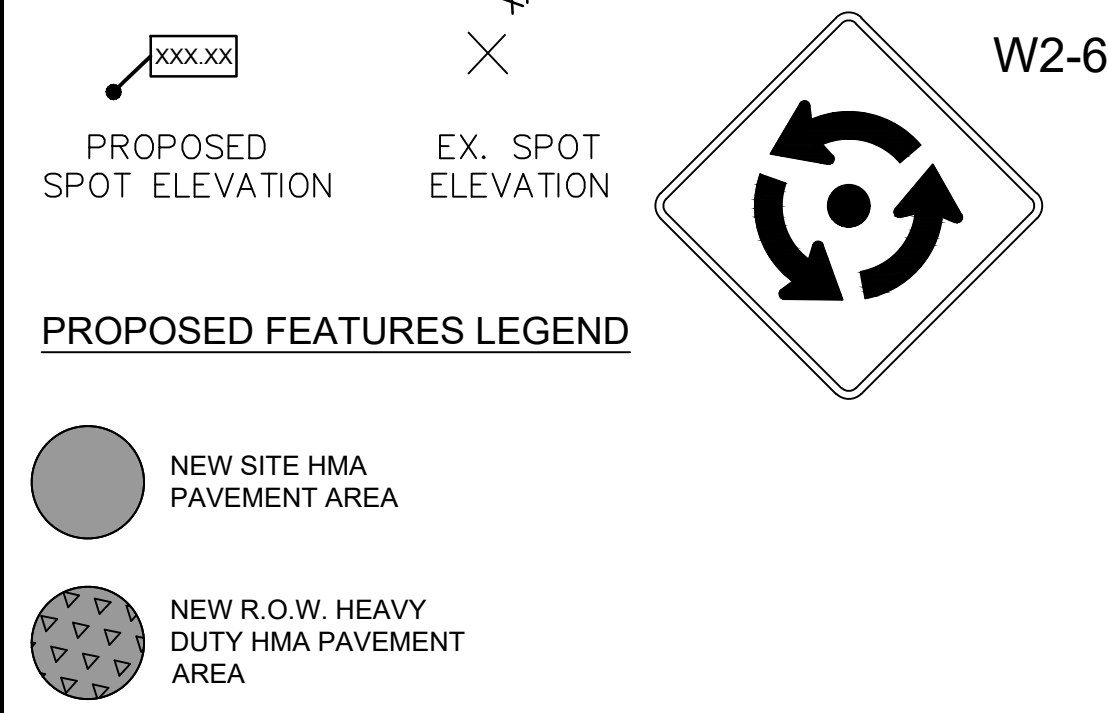
PROJECT: 020 WOODWARD WAY
 SHEET NO: **C1.0**

PRELIMINARY - NOT FOR CONSTRUCTION

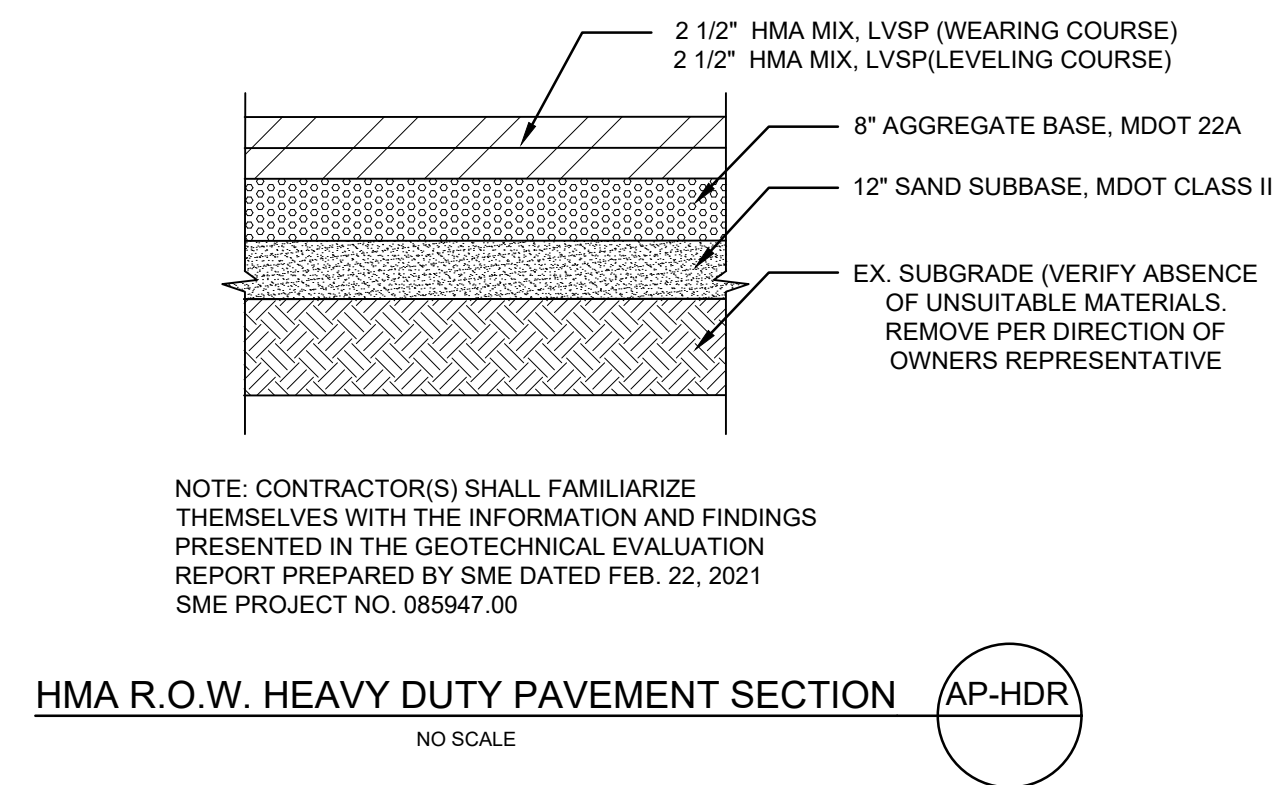
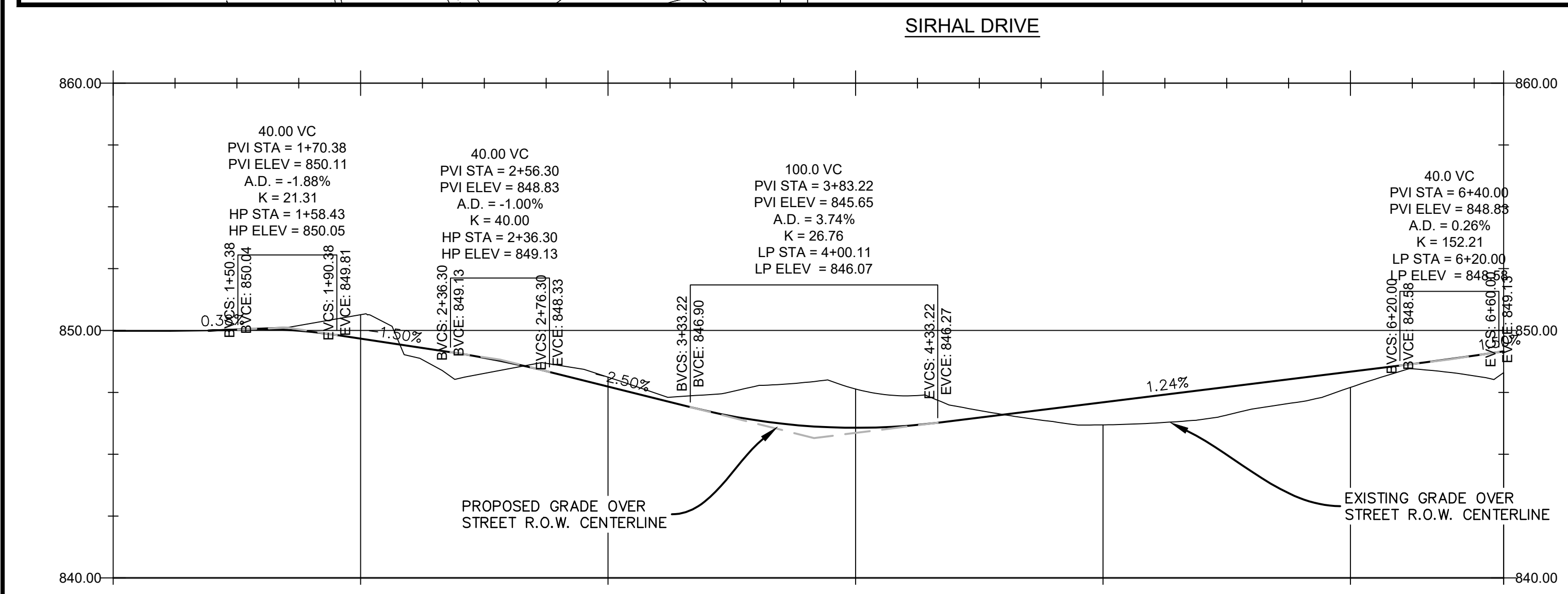


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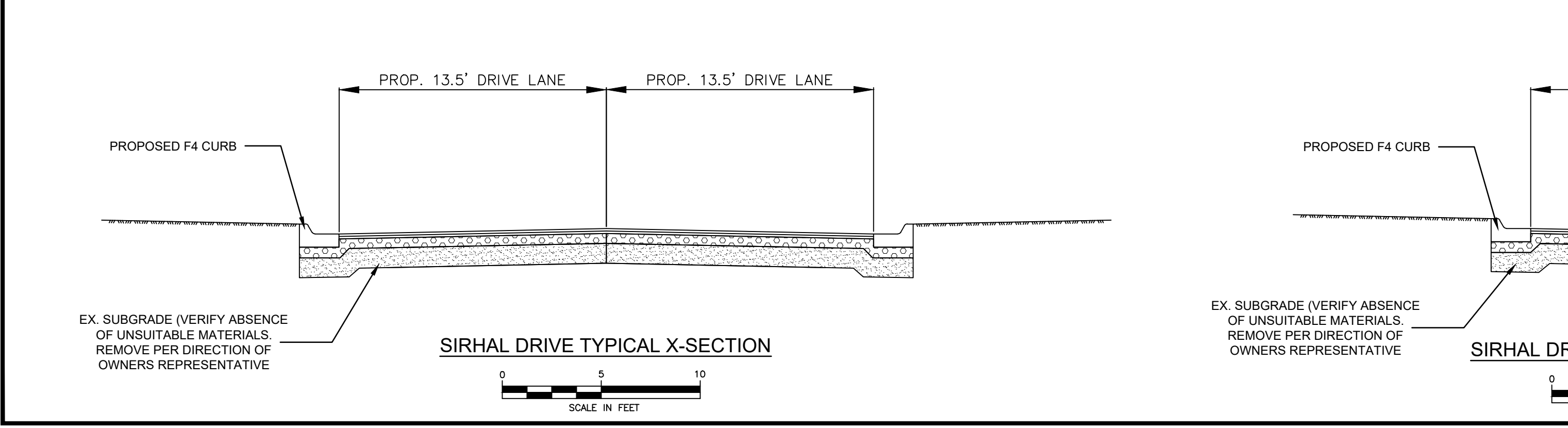
PRELIMINARY - NOT FOR CONSTRUCTION



- PATHWAY / SIDEWALK NOTES**
- Sidewalk - 5' (minimum) wide concrete 4" thick, 6" thick through single family residential driveways, 7" thick through multi-family residential and commercial driveways on 3" compacted sand backfill. To maintain continuity, all 4" wide concrete sidewalks shall be replaced with new 4" wide concrete sidewalk when appropriate.
 - Pathways - (adjacent to roadways) - 7' (minimum) (8' when next to a wall or other object) wide concrete, 4" thick, 6" thick through residential driveways, 7" thick through commercial driveways on 3" compacted sand backfill.
 - Pathways - (off-road) - 8' (minimum) wide concrete, 6" thick concrete on 3" compacted sand backfill or 8' (minimum) wide asphalt 3" thick (Bituminous Mixture 1500T/L) on 6" of 21AA crushed limestone (minimum 9' wide).
 - Sidewalks and pathways shall generally be placed 1 (one) foot from the ultimate right-of-way as identified on the "Street and Highway Plan". Contact the Department of Planning and Community Development for a current copy of the plan.
 - A boardwalk may be required to be installed instead of a standard concrete sidewalk/pathway if regulations do not allow their installation.
 - Pathways and sidewalks shall be constructed so as to promote proper positive surface drainage. Where ever possible the sidewalk/pathway shall be constructed 0.5' higher than the curb.
 - Retaining walls shall only be installed where all other efforts (offsite grading easements, tree relocation, etc.) to mitigate the need for such wall have been evaluated for cost effectiveness and dismissed.
 - Guardrails and handrails shall be installed where the slopes adjacent to the pathway/sidewalk cannot be constructed to 1' vertical for every 3' horizontal. The depth to the toe of the slope area will be considered when implementing this requirement.
 - Pathways or sidewalks that do not connect to an existing pathway/sidewalk shall provide a gradual transition to existing ground. A "path ends" sign shall be posted at all pathway/sidewalk termini.
 - Maximum slope of sidewalk is 5%. Cross slope is 2%.
 - Expansion joint to be placed at 100' intervals.
 - All existing bituminous and concrete to be removed shall be sawcut.
 - All lumber to be pressure treated (Osmose 33 or equal) to 0.4 retention.



STATION	EXIST. CENTERLINE ELEV'S. (TYP.)	PROP. CENTERLINE ELEV'S. (TYP.)
1+00	849.97	849.97
1+20	850.03	850.03
1+40	850.04	850.04
1+60	850.20	850.20
1+80	849.99	849.99
2+00	850.64	850.64
2+20	849.67	849.67
2+40	848.81	848.81
2+60	848.30	848.30
2+80	846.76	846.76
3+00	846.50	846.50
3+20	848.67	848.67
3+40	848.36	848.36
3+60	845.11	845.11
3+80	847.73	847.73
4+00	847.30	847.30
4+20	847.11	847.11
4+40	847.53	847.53
4+60	846.54	846.54
4+80	847.86	847.86
5+00	846.18	846.18
5+20	847.63	847.63
5+40	846.07	846.07
5+60	847.37	847.37
5+80	846.16	846.16
6+00	846.77	846.77
6+20	846.48	846.48
6+40	846.38	846.38
6+60	846.79	846.79
6+80	846.19	846.19
7+00	847.10	847.10
7+20	846.28	846.28
7+40	847.41	847.41
7+60	846.58	846.58
7+80	847.72	847.72
8+00	847.05	847.05
8+20	846.03	846.03
8+40	847.70	847.70
8+60	848.33	848.33
8+80	848.45	848.45
9+00	848.64	848.64
9+20	848.17	848.17
9+40	848.98	848.98
9+60	848.30	848.30
9+80	849.16	849.16



Callen Engineering, Inc.
 municipal - commercial - residential
 108 E. Savidge Street
 Spring Lake, Michigan 49456
 Tel: 616-414-5260
 Web: callenengineering.com

WOODWARD WAY LDHA, LP
 500 S. FRONT STREET, 10TH FLOOR
 COLUMBUS, OHIO 43215

NO.	ISSUANCE / REVISION	BY	DATE
1	TOWNSHIP REVIEW / RFI #2	B.A.C.	09/29/21
2	SIRHAL DRIVE CUL-DE-SAC	B.A.C.	09/29/21
3	SIRHAL CUL-DE-SAC REVISIONS	B.A.C.	09/29/21
4	SITE PLANNING SLU REVIEW	B.A.C.	09/29/21
5	REVISION IN ACCORDANCE WITH CONSTRUCTION RECORDS	B.A.C.	09/17/21

WOODWARD WAY APARTMENTS
 2720 - 2780 SIRHAL DRIVE
 MERIDIAN TOWNSHIP
 INGHAM COUNTY, MICHIGAN
 SIRHAL DR CUL-DE-SAC PLAN & PROFILE



For protection of underground utilities, the CONTRACTOR shall dial 1-800-482-7171 OR 811 a minimum of three working days, excluding Saturdays, Sundays and holidays, prior to excavation in the vicinity of utility lines. All "MISS DIG" participating members will thus be routinely notified. This does not relieve the CONTRACTOR of the responsibility of notifying the utility owners who may not be part of the "MISS DIG" alert system.

PROJECT	SCALE
020 WOODWARD WAY	AS NOTED
020 WOODWARD WAY	1:1

C2.3

DATE OF PLAN: 08-17-21

PRELIMINARY - NOT FOR CONSTRUCTION



Plan Prepared By:
 Bruce A. Callen, P.E.
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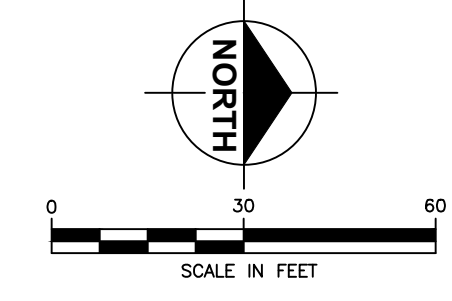
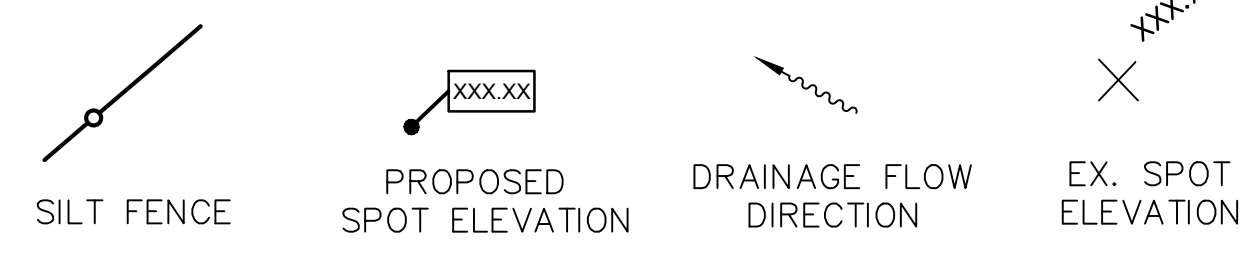
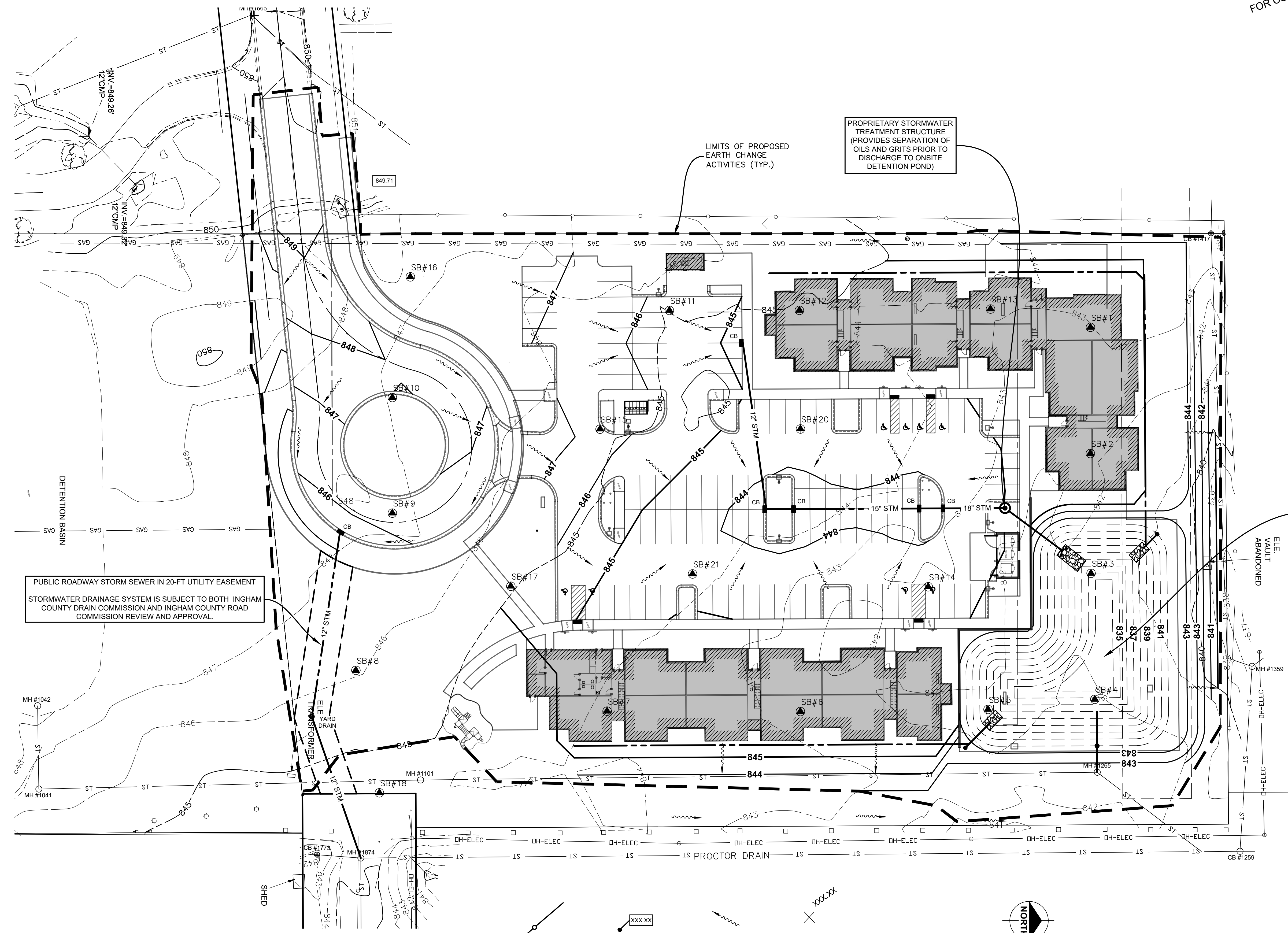
STORMWATER DRAINAGE SYSTEM SHALL COMPLY WITH RULES OF THE INGHAM COUNTY DRAIN COMMISSIONER 2005 EDITION, AS AMENDED.

PROPRIETARY STORMWATER TREATMENT STRUCTURE (PROVIDES SEPARATION OF OILS AND GRITS PRIOR TO DISCHARGE TO ONSITE DETENTION POND)

LIMITS OF PROPOSED EARTH CHANGE ACTIVITIES (TYP.)

STORMWATER DETENTION POND w/ PERMANENT POOL (PROVIDES ONSITE DETENTION OF STORMWATER PRIOR TO CONTROLLED-RATE DISCHARGE TO THE PROCTOR COUNTY DRAIN)
 STORMWATER DRAINAGE SYSTEM IS SUBJECT TO INGHAM COUNTY DRAIN COMMISSION REVIEW AND APPROVAL.

PUBLIC ROADWAY STORM SEWER IN 20-FT UTILITY EASEMENT
 STORMWATER DRAINAGE SYSTEM IS SUBJECT TO BOTH INGHAM COUNTY DRAIN COMMISSION AND INGHAM COUNTY ROAD COMMISSION REVIEW AND APPROVAL.



BENCH MARKS:
 BM 1 TOP OF MAIN PUMPING VALVE ON HYDRANT ON NORTH SIDE OF SIRHAL DR. AT END OF ROAD. Elevation: 852.38 (NAVD 88)
 BM 2 TOP OF MAIN PUMPING VALVE ON HYDRANT AT NORTH SIDE OF REAR PARKING LOT OF WHOLE FOODS. Elevation: 853.46 (NAVD 88)

SUBSURFACE CONDITIONS
 Contractor(s) shall familiarize themselves with the information and findings presented in the Geotechnical Evaluation Report prepared by SME dated Feb. 22, 2021. SME Project No. 085947.00

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NO.	ISSUANCE / REVISION	DATE
1.	TOWNSHIP REVIEW	02/12/21
2.	TOWNSHIP REVIEW / INT #12	05/25/21
3.	SERIAL CD-DE-SAC REVISIONS	06/29/21
4.	SITE PLAN AND SUJ REVIEW	08/17/21

WOODWARD WAY APARTMENTS
 2720 - 2780 SIRHAL DRIVE
 MERIDIAN TOWNSHIP
 INGHAM COUNTY, MICHIGAN
 GRADING & DRAINAGE PLAN

DRAWN BY	DATE
J.W.C.	DEC '20
A.J.B.	DEC '20
J.W.C.	AUG '21

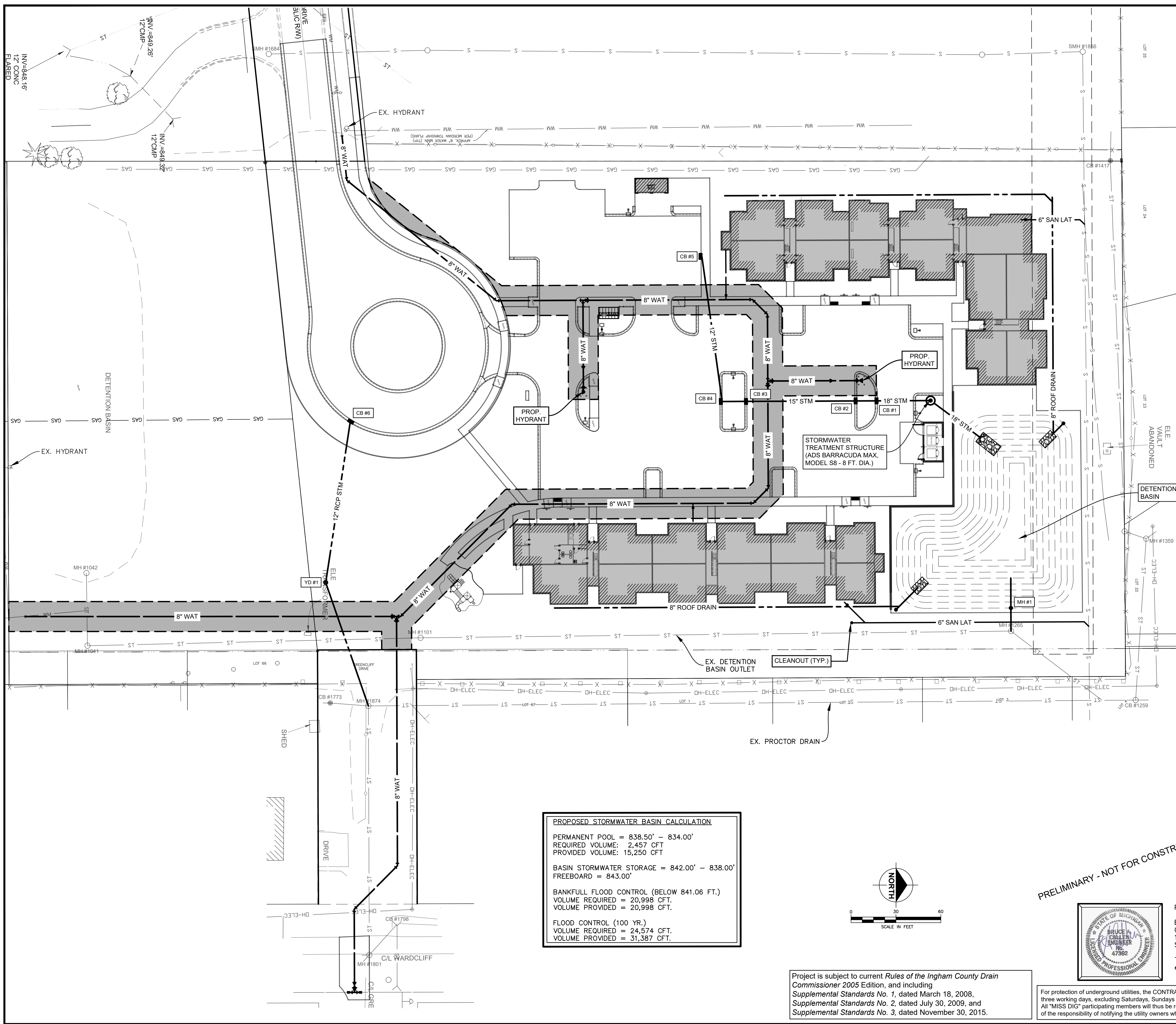
PROJECT 020 WOODWARD WAY
 SHEET NO. C2.0



Know what's below.
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 DATE OF PLAN: 08-17-21

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**STORM STRUCTURE SCHEDULE
(THIS SHEET)**

- MH #1 (4' DIA W/ PARTITION WALL) RIM = 844.00 FT
(COVER: EJIW 1046 Z SERIES W/ M2 GRATE OR A.E.)
12" INV (E) = 838.40 FT (SOLID WALL HDPE @ 0.22%)
12" INV (W) = 838.60 FT (SOLID WALL HDPE @ 0.22%)
TOP OF WALL = 842.00 FT
2" ORIFICE = 838.50 FT (WATER QUALITY)
4" ORIFICE = 841.06 FT (BANKFULL / FLOOD CONTROL)
- EX. MH #1265 RIM = 844.25 (ADJUST)
(COVER: EJIW 1046 Z SERIES W/ M2 GRATE OR A.E.)
EX. 14" INV (N) = 837.70 FT
EX. 12" INV (S) = 838.00 FT
12" INV (W) = 837.80 FT (SOLID WALL HDPE @ 0.22%)
- EX. MH #1874 (4' DIA) RIM = 844.88 FT
(COVER: EJIW 1046 Z SERIES W/ M2 GRATE OR A.E.)
EX. 12" INV (S) = 833.28 FT
EX. 12" INV (N) = 833.28 FT
EX. 12" INV (E) = 834.68 FT
12" INV (SW) = 836.00 FT (RCP STM @ 0.22%)
- CB#1 (4' DIA) RIM = 844.30 FT (COVER: EJIW 7066 Z SERIES
W/ 7060 T1 HOOD OR A.E.)
18" INV (N) = 839.51 FT (SOLID WALL HDPE @ 0.22%)
15" INV (S) = 839.61 FT (SOLID WALL HDPE @ 0.22%)
- CB#2 (4' DIA) RIM = 843.57 FT (COVER: EJIW 7066 Z SERIES
W/ 7060 T1 HOOD OR A.E.)
15" INV (N) = 839.64 FT (SOLID WALL HDPE @ 0.22%)
15" INV (S) = 839.74 FT (SOLID WALL HDPE @ 0.22%)
- CB#3 (4' DIA) RIM = 843.57 FT (COVER: EJIW 7066 Z SERIES
W/ 7060 T1 HOOD OR A.E.)
12" INV (N) = 839.90 FT (SOLID WALL HDPE @ 0.22%)
12" INV (S) = 840.00 FT (SOLID WALL HDPE @ 0.22%)
- CB#4 (4' DIA) RIM = 843.57 FT (COVER: EJIW 7066 Z SERIES
W/ 7060 T1 HOOD OR A.E.)
12" INV (N) = 840.03 FT (SOLID WALL HDPE @ 0.22%)
12" INV (WSW) = 841.03 FT (SOLID WALL HDPE @ 0.22%)
- CB#5 (2' DIA) RIM = 844.75 FT (COVER: EJIW 7066 Z SERIES
W/ 7060 T1 HOOD OR A.E.)
12" INV (ENE) = 841.25 FT (SOLID WALL HDPE @ 0.22%)
- CB#6 (4' DIA) RIM = 845.78 FT (COVER: EJIW 7066 Z SERIES
W/ 7060 T1 HOOD OR A.E.)
12" INV (ESE) = 842.01 FT (RCP STM @ 0.22%)
- YD#1 (4' DIA) RIM = 845.50 FT (COVER: EJIW 1000
02 GRATE OR A.E.)
12" INV (NE) = 836.87 FT (SOLID WALL HDPE @ 1.00%)
12" INV (WNW) = 841.77 FT (SOLID WALL HDPE @ 0.22%)

STORM STRUCTURE NOTES

- STORM SEWER LENGTHS PROVIDED ARE MEASURED FROM CENTER OF STRUCTURE. RIM ELEVATIONS ARE MEASURED AT EDGE OF METAL.
- STORM SEWER SHALL BE WATER-TIGHT, SOLID-WALL HDPE OR APPROVED EQUAL, UNLESS INDICATED ON THE PLANS.
- MANHOLES AND CATCH BASINS SHALL BE IN ACCORDANCE WITH MDOT STANDARD SPECIFICATIONS. CATCH BASINS SHALL INCLUDE 2-FT SUMP.
- CONNECTIONS TO MANHOLES SHALL BE MADE WITH A RESILIENT CONNECTOR FOR PIPE DIAMETERS 24 INCHES OR LESS.
- MANHOLE RIM ELEVATIONS SHALL BE SET 1/4" BELOW PLAN GRADE. CATCH BASIN RIM ELEVATIONS SHALL BE SET 1 3/8" BELOW PLAN GRADE.
- ALL CURB DIMENSIONS ARE MEASURED FROM EDGE OF METAL.
- THE CONTRACTOR SHALL EXPOSE AND VERIFY LOCATION AND DEPTH OF EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. CONFLICTS IN GRADES SHALL BE REPORTED TO ENGINEER AND ADJUSTMENTS SHALL BE MADE AT NO ADDITIONAL COST TO OWNER.

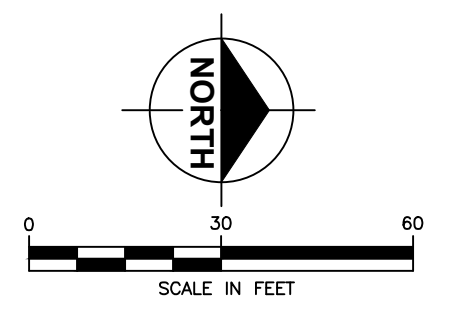
PROPOSED STORMWATER BASIN CALCULATION

PERMANENT POOL = 838.50' - 834.00'
REQUIRED VOLUME: 2,457 CFT
PROVIDED VOLUME: 15,250 CFT

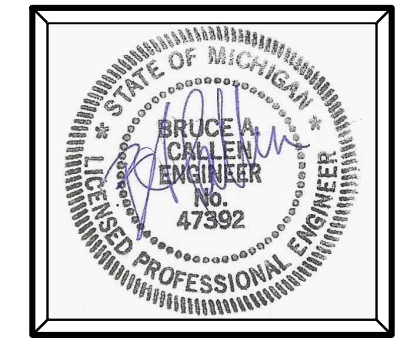
BASIN STORMWATER STORAGE = 842.00' - 838.00'
FREEBOARD = 843.00'

BANKFULL FLOOD CONTROL (BELOW 841.06 FT.)
VOLUME REQUIRED = 20,998 CFT.
VOLUME PROVIDED = 20,998 CFT.

FLOOD CONTROL (100 YR.)
VOLUME REQUIRED = 24,574 CFT.
VOLUME PROVIDED = 31,387 CFT.



PRELIMINARY - NOT FOR CONSTRUCTION



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email: bcallen@callenengineering.com

Project is subject to current *Rules of the Ingham County Drain Commissioner 2005 Edition*, and including *Supplemental Standards No. 1*, dated March 18, 2008, *Supplemental Standards No. 2*, dated July 30, 2009, and *Supplemental Standards No. 3*, dated November 30, 2015.

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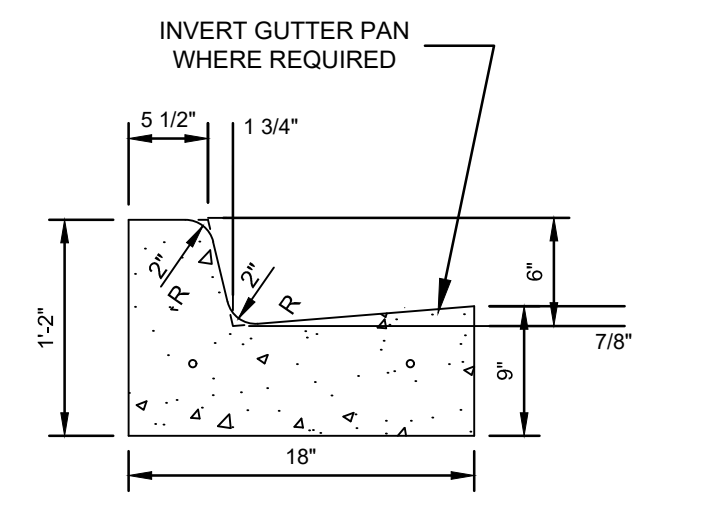


Know what's below.
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DATE OF PLAN: 08-17-21

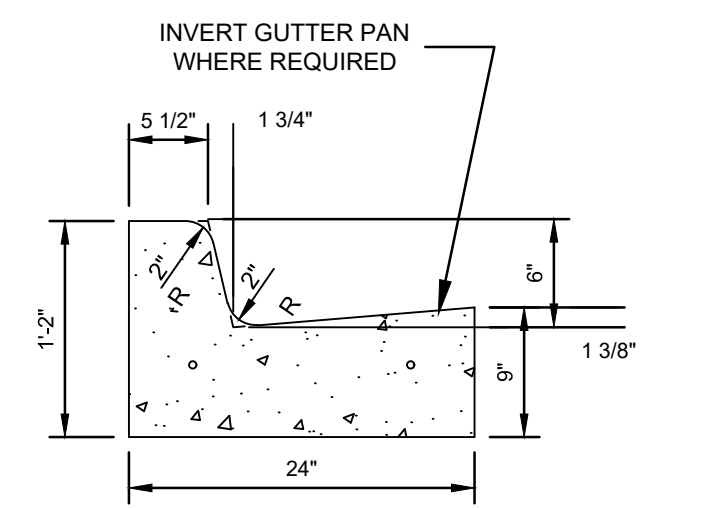
NO.	ISSUANCE / REVISION	DATE	BY
1	SERIAL DUE-DE-SAP REVISIONS	06/29/21	B.A.C.
2	SITE PLAN REVIEW	08/04/21	B.A.C.
3	PRELIMINARY DRAIN COMMISSION REVIEW	08/09/21	B.A.C.
4	SITE PLAN AND SUJ REVIEW	08/17/21	B.A.C.

NO.	ISSUANCE / REVISION	BY	DATE
1	TOWNSHIP REVIEW	B.A.C.	02/17/21
2	TOWNSHIP REVIEW / RT #12	B.A.C.	02/19/21
3	SERIAL CUL-DE-SAC REVISIONS	B.A.C.	02/23/21
4	REVISIONS	B.A.C.	02/23/21
5	REVISIONS	B.A.C.	02/23/21
6	REVISIONS	B.A.C.	02/23/21

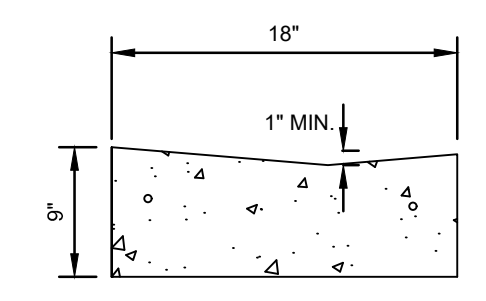
NO.	ISSUANCE / REVISION	BY	DATE
1	TOWNSHIP REVIEW	B.A.C.	02/17/21
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3	SERIAL CUL-DE-SAC REVISIONS	B.A.C.	02/23/21
4	REVISIONS	B.A.C.	02/23/21
5	REVISIONS	B.A.C.	02/23/21
6	REVISIONS	B.A.C.	02/23/21



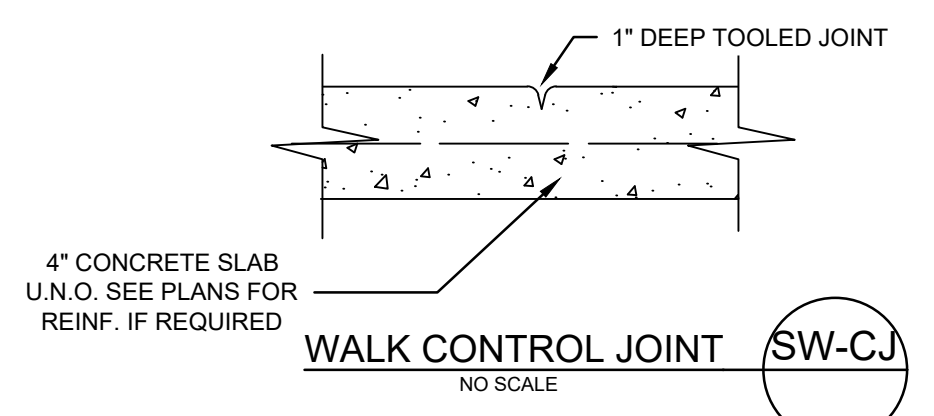
CONCRETE CURB & GUTTER (CG-F2)
 DETAIL F2, MODIFIED
 NO SCALE



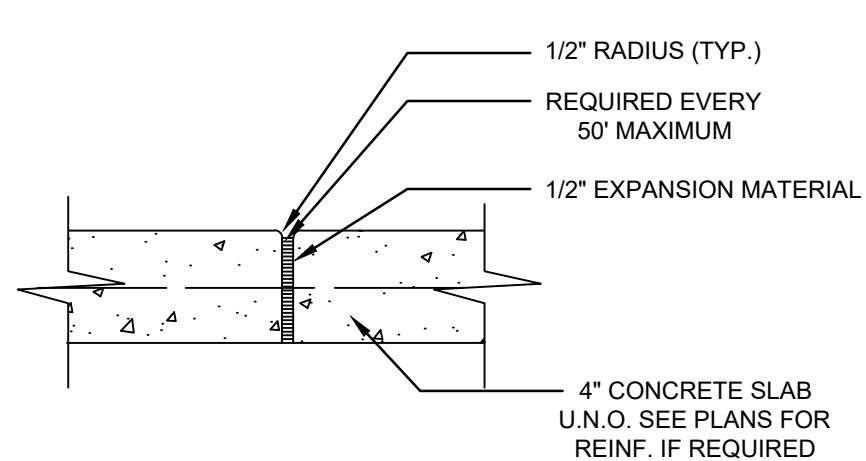
CONCRETE CURB & GUTTER (CG-F4)
 DETAIL F4, MODIFIED
 NO SCALE



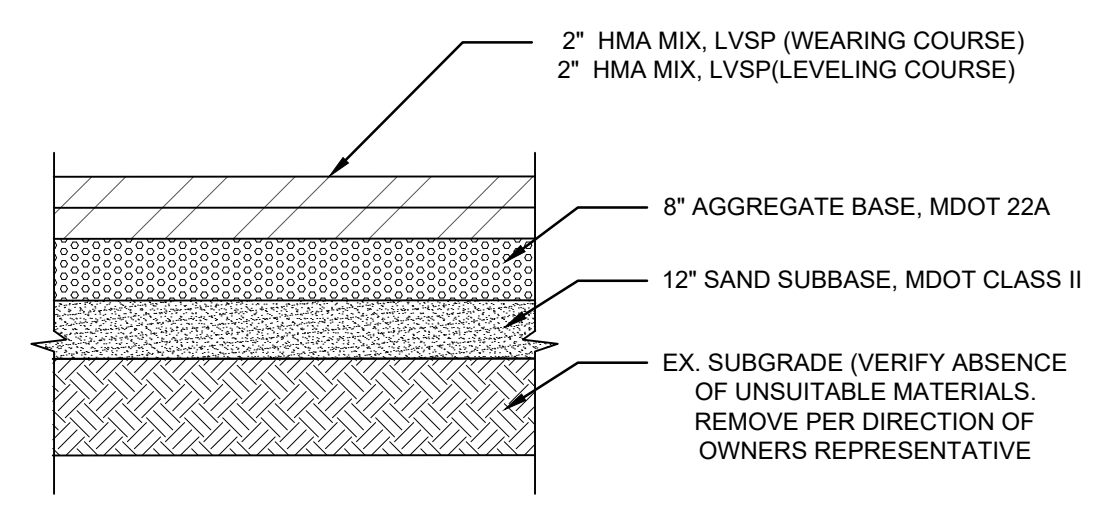
GUTTER DETAIL (CG-G)
 NO SCALE



WALK CONTROL JOINT (SW-CJ)
 NO SCALE

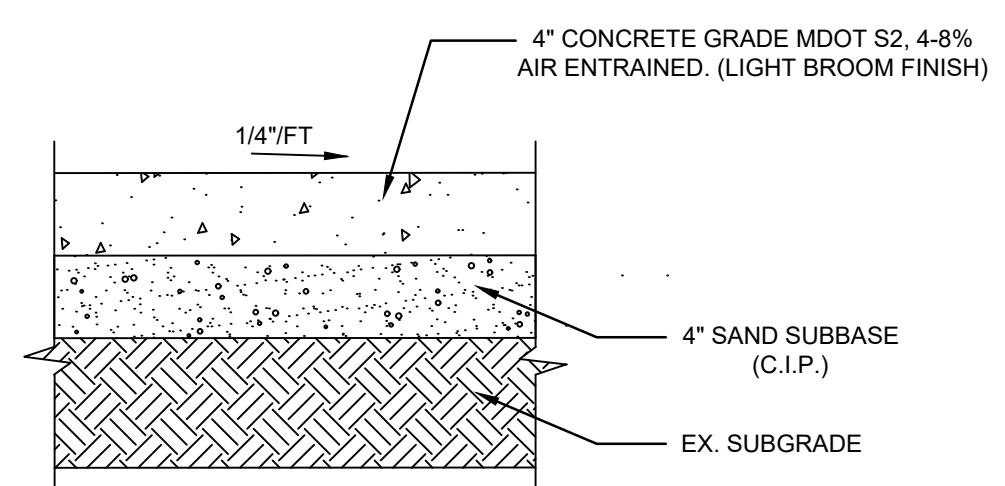


WALK EXPANSION JOINT (SW-EJ)
 NO SCALE

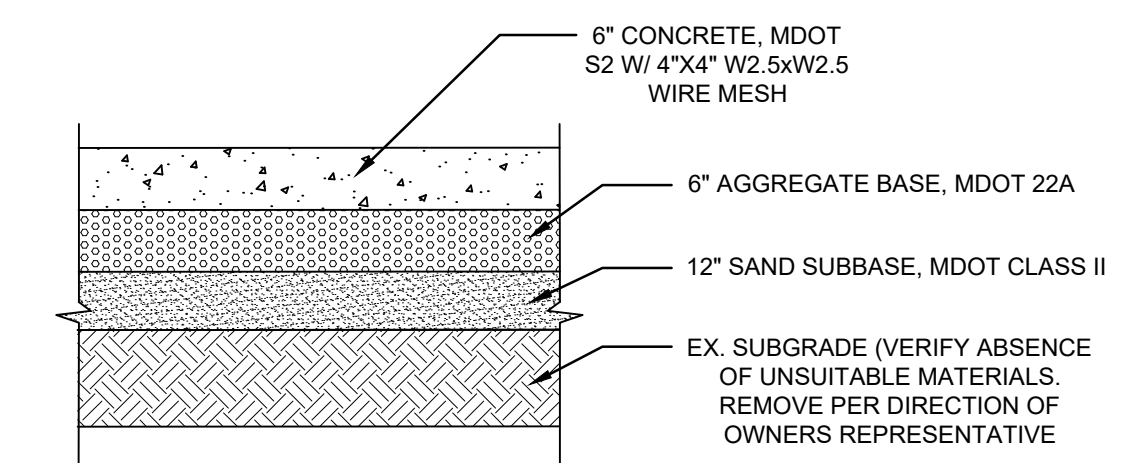


HMA SITE PAVEMENT SECTION (AP-S)
 NO SCALE

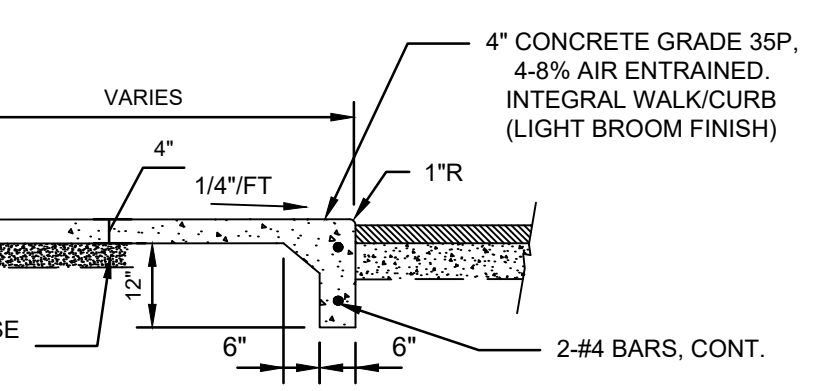
NOTE: CONTRACTOR(S) SHALL FAMILIARIZE THEMSELVES WITH THE INFORMATION AND FINDINGS PRESENTED IN THE GEOTECHNICAL EVALUATION REPORT PREPARED BY SME DATED FEB. 22, 2021 SME PROJECT NO. 085947.00



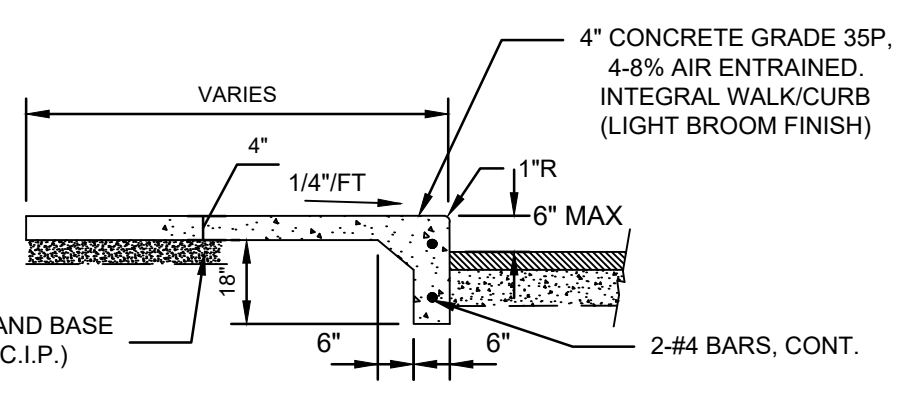
CONCRETE SIDEWALK SECTION (CP-4)
 NO SCALE



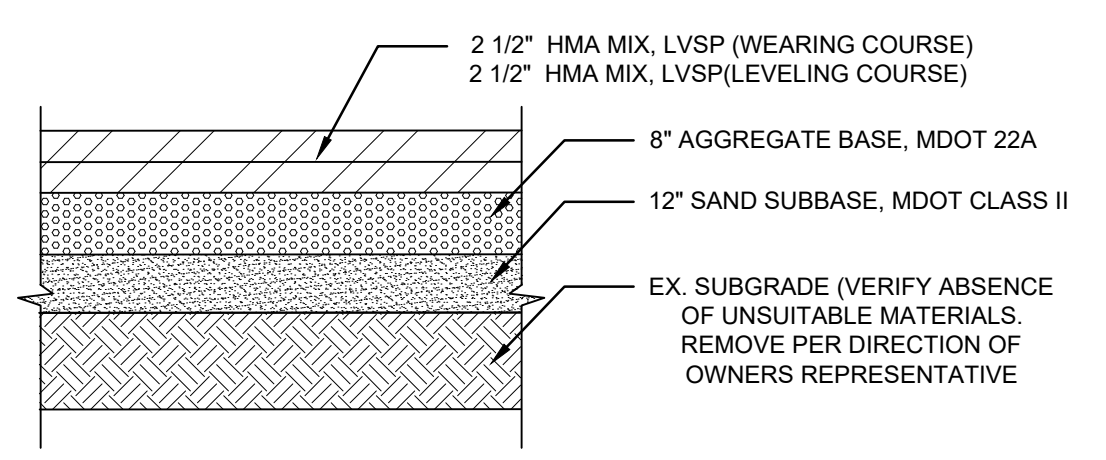
6" CONCRETE PAVEMENT SECTION (CP-6)
 NO SCALE



CONCRETE SIDEWALK W/ FLUSH CURB (SW-2)
 NO SCALE

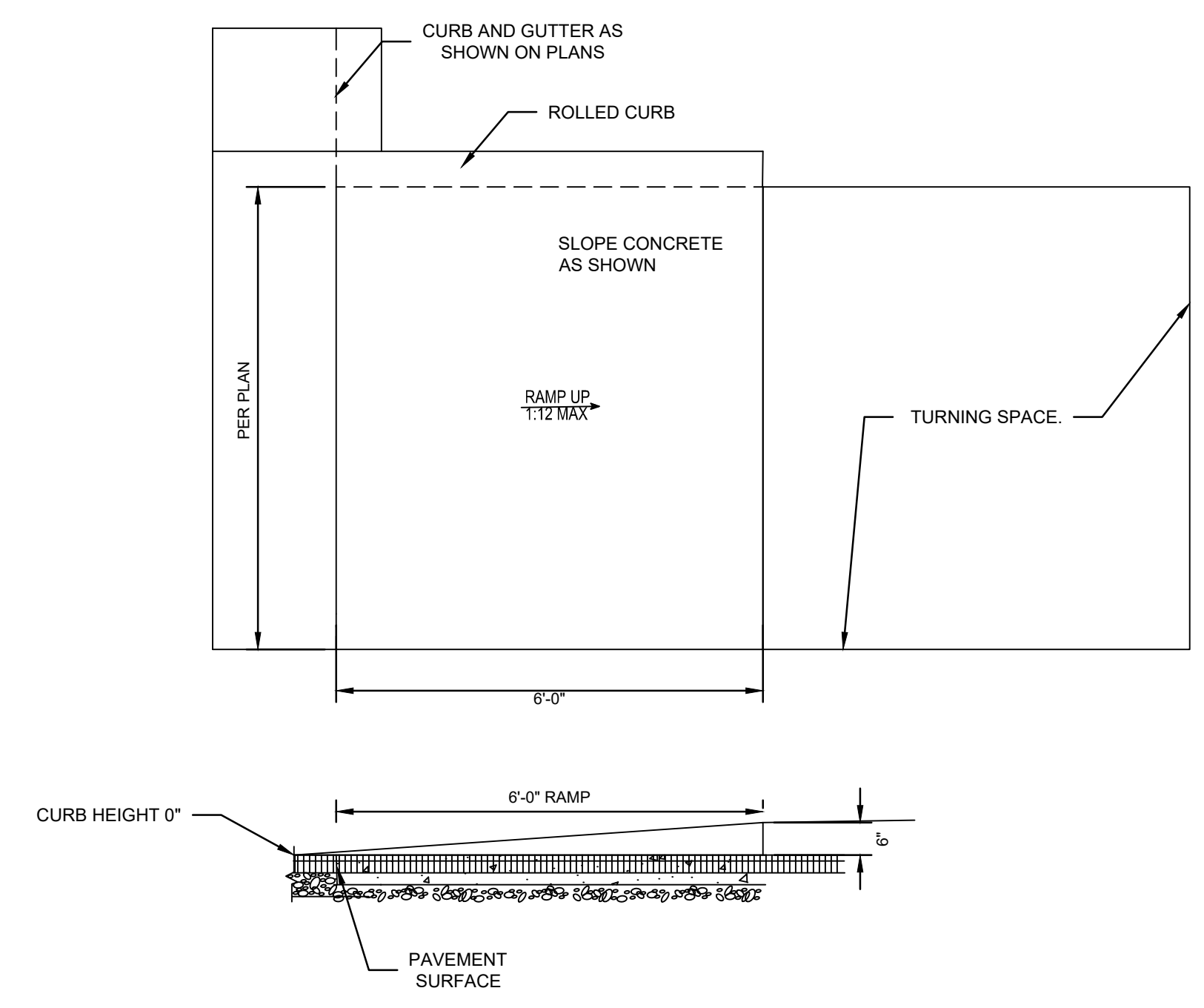


INTEGRAL WALK / CURB (SW-1)
 NO SCALE

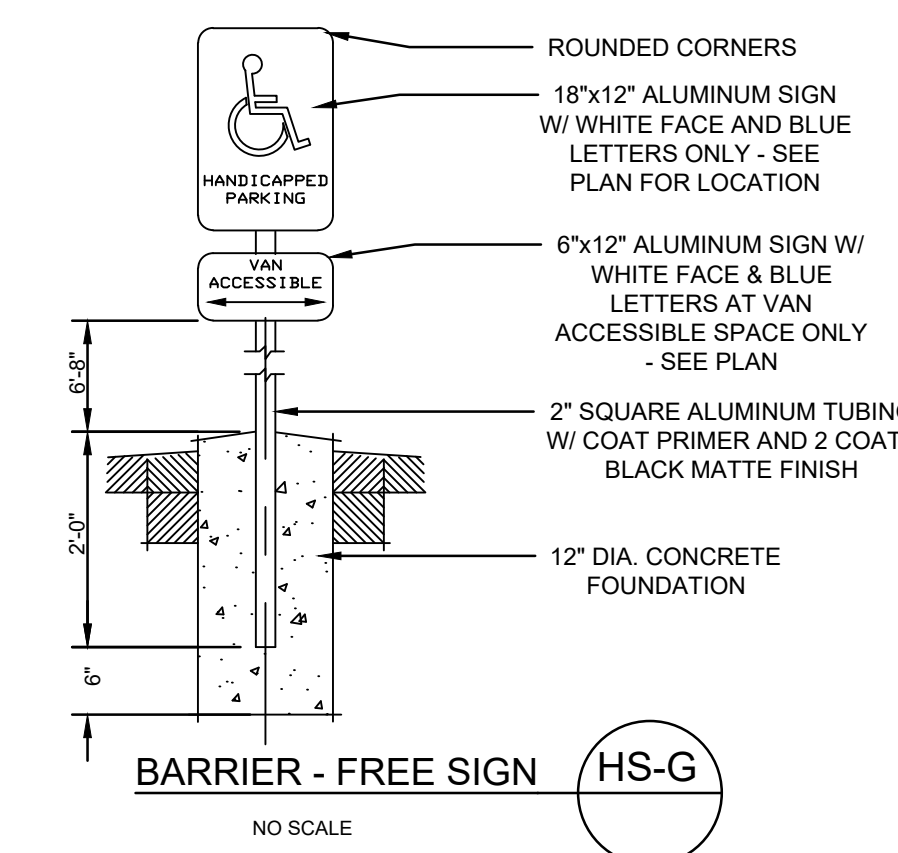


HMA R.O.W. HEAVY DUTY PAVEMENT SECTION (AP-HDR)
 NO SCALE

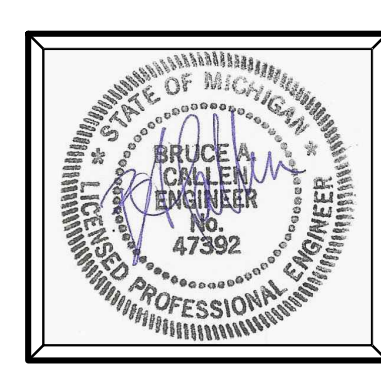
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B.F. RAMP DETAIL (HC-R3)
 TYPE R
 NO SCALE



BARRIER - FREE SIGN (HS-G)
 NO SCALE



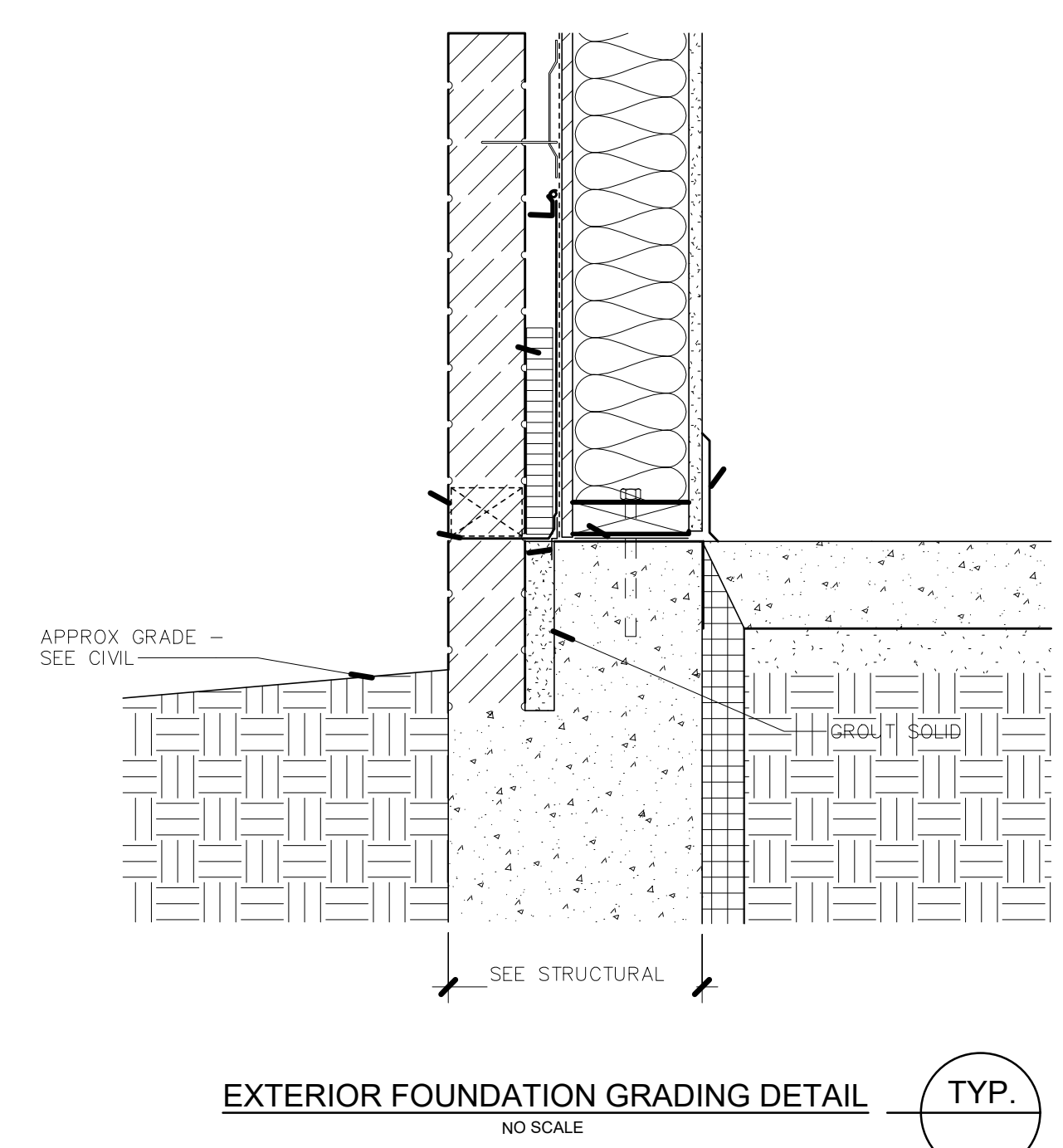
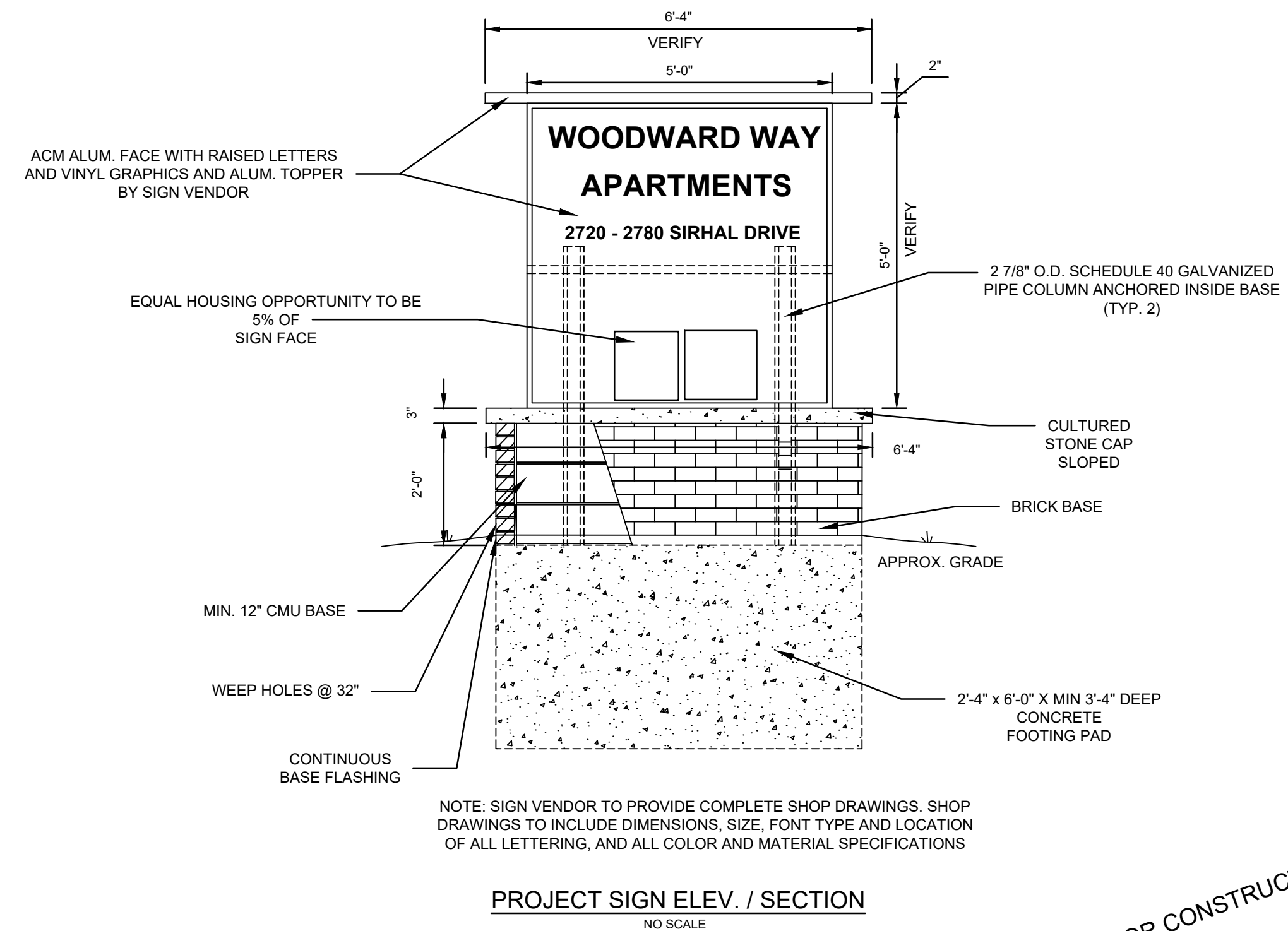
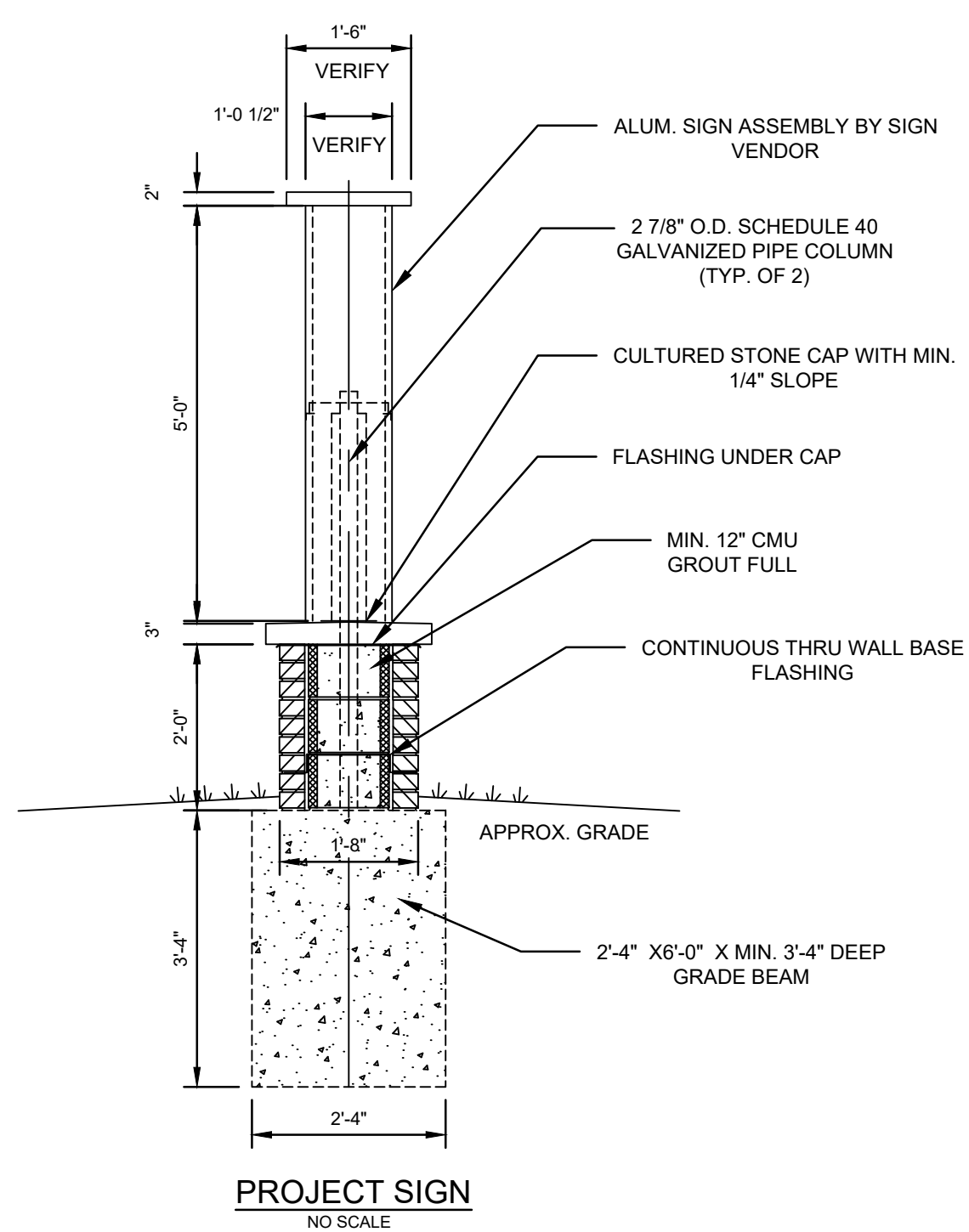
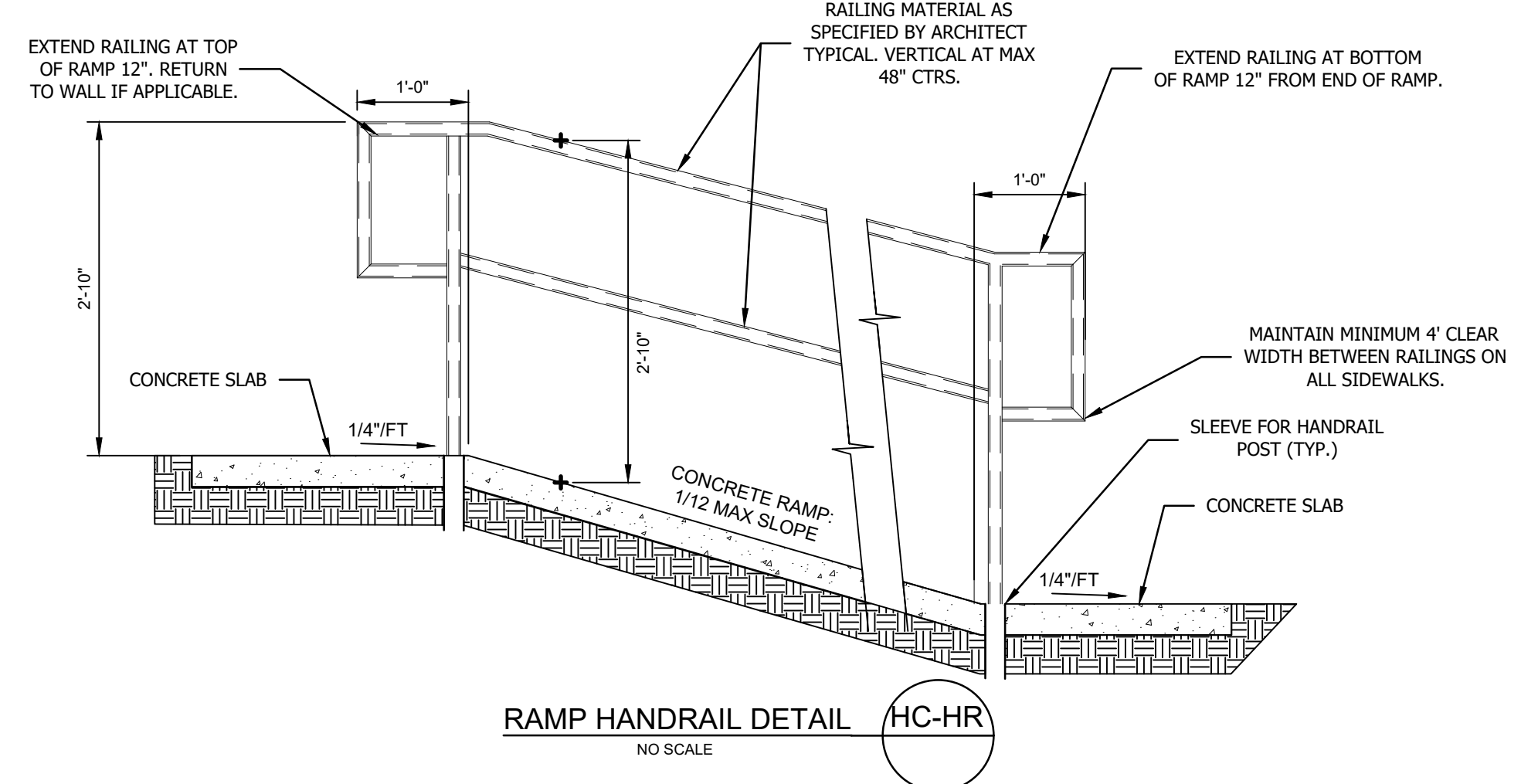
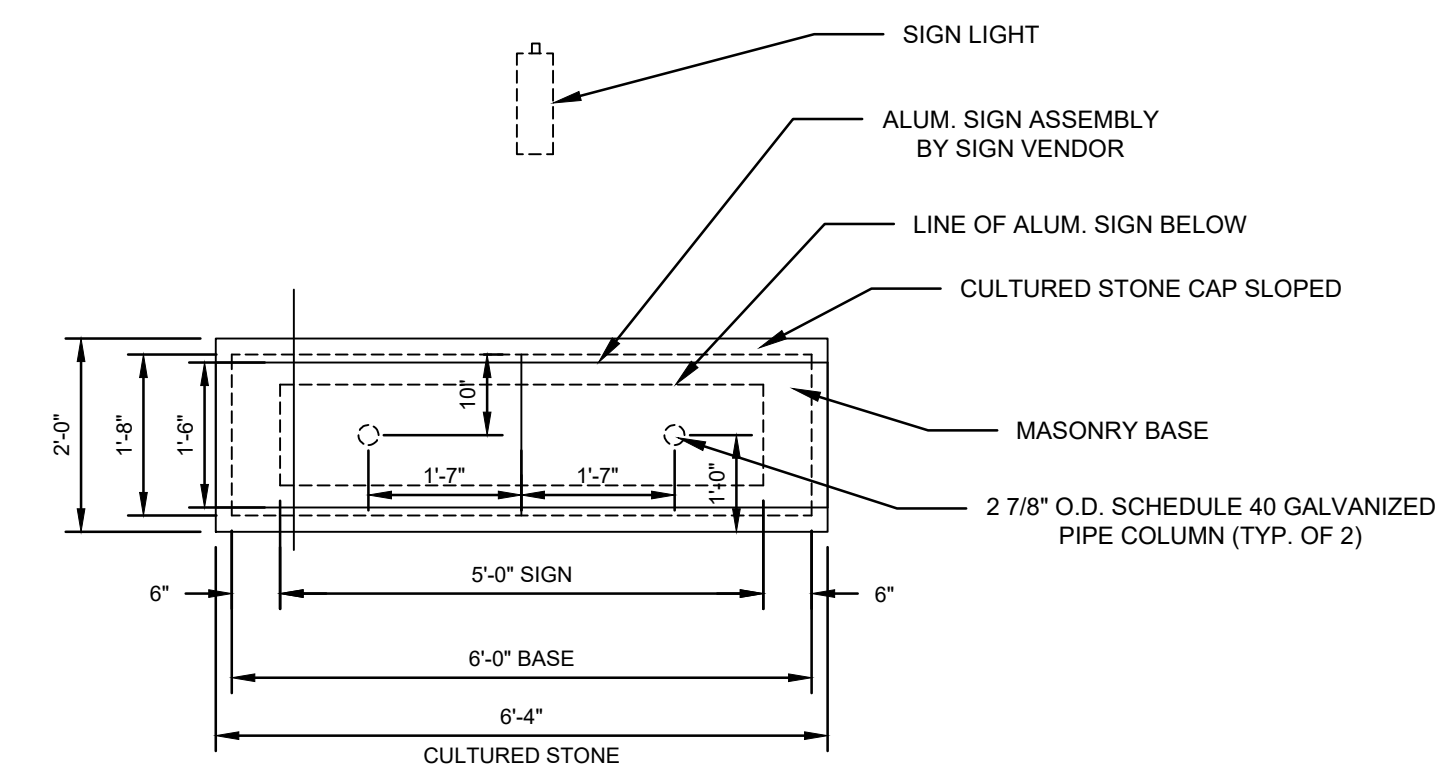
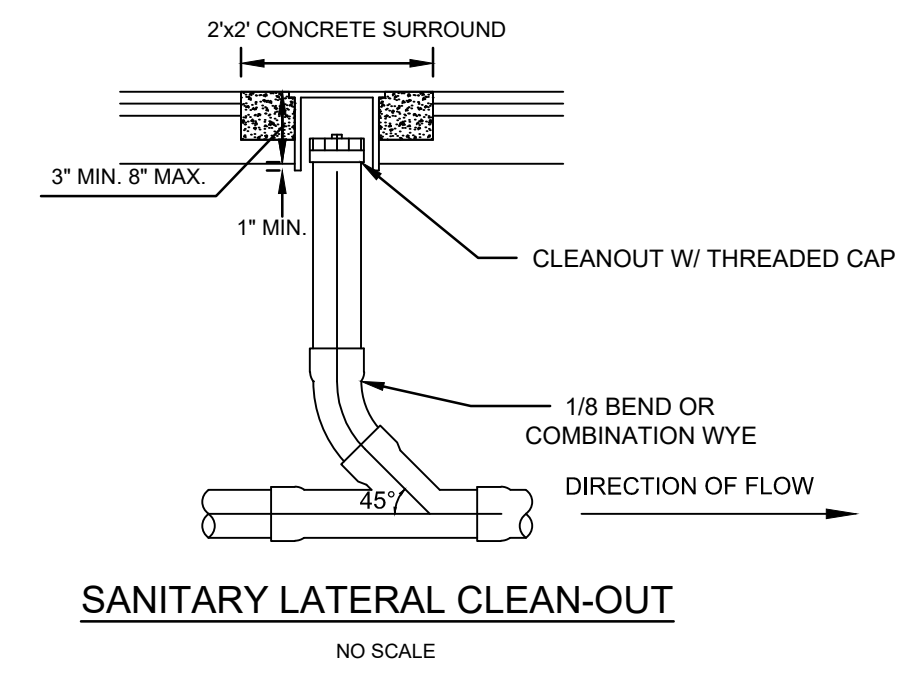
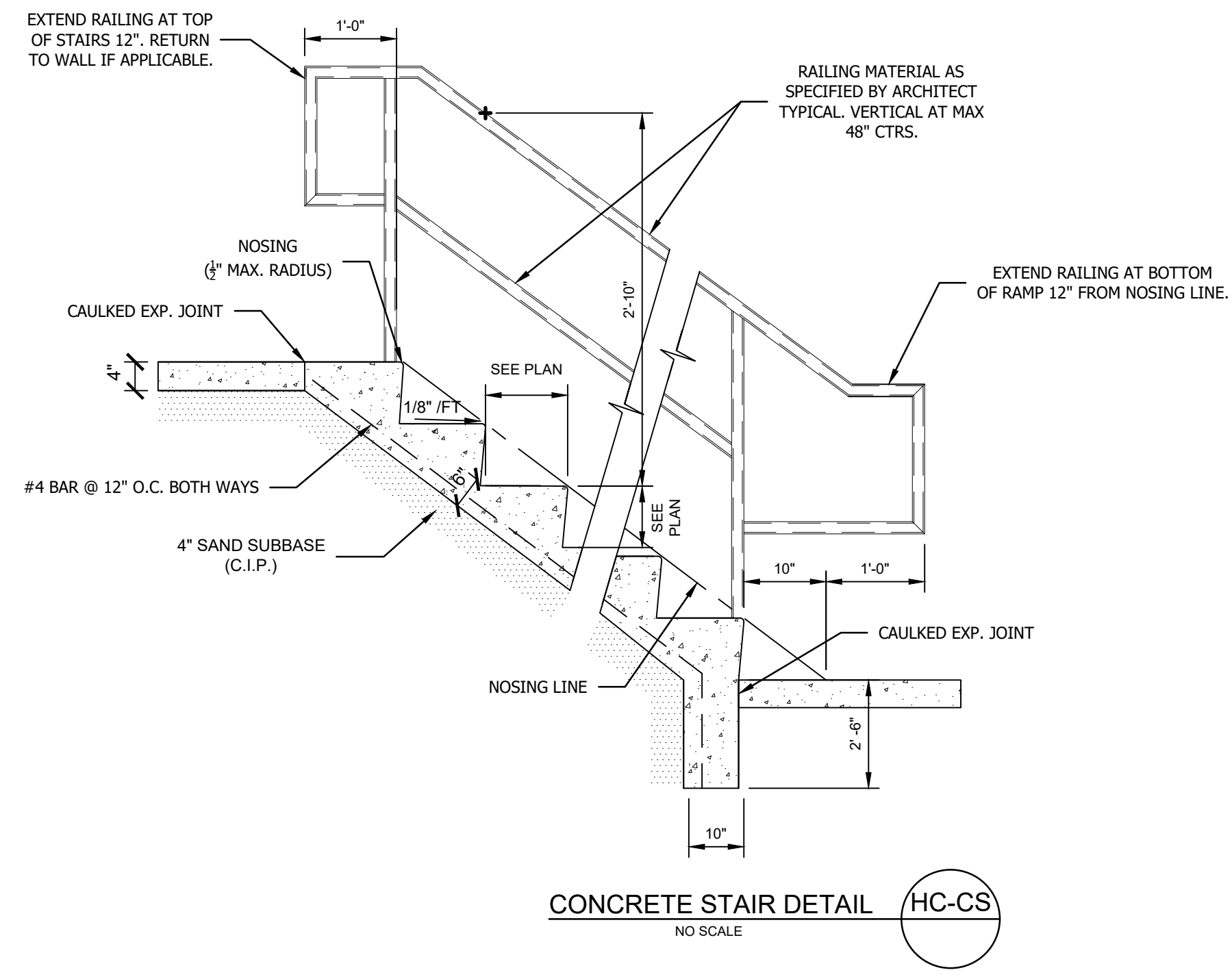
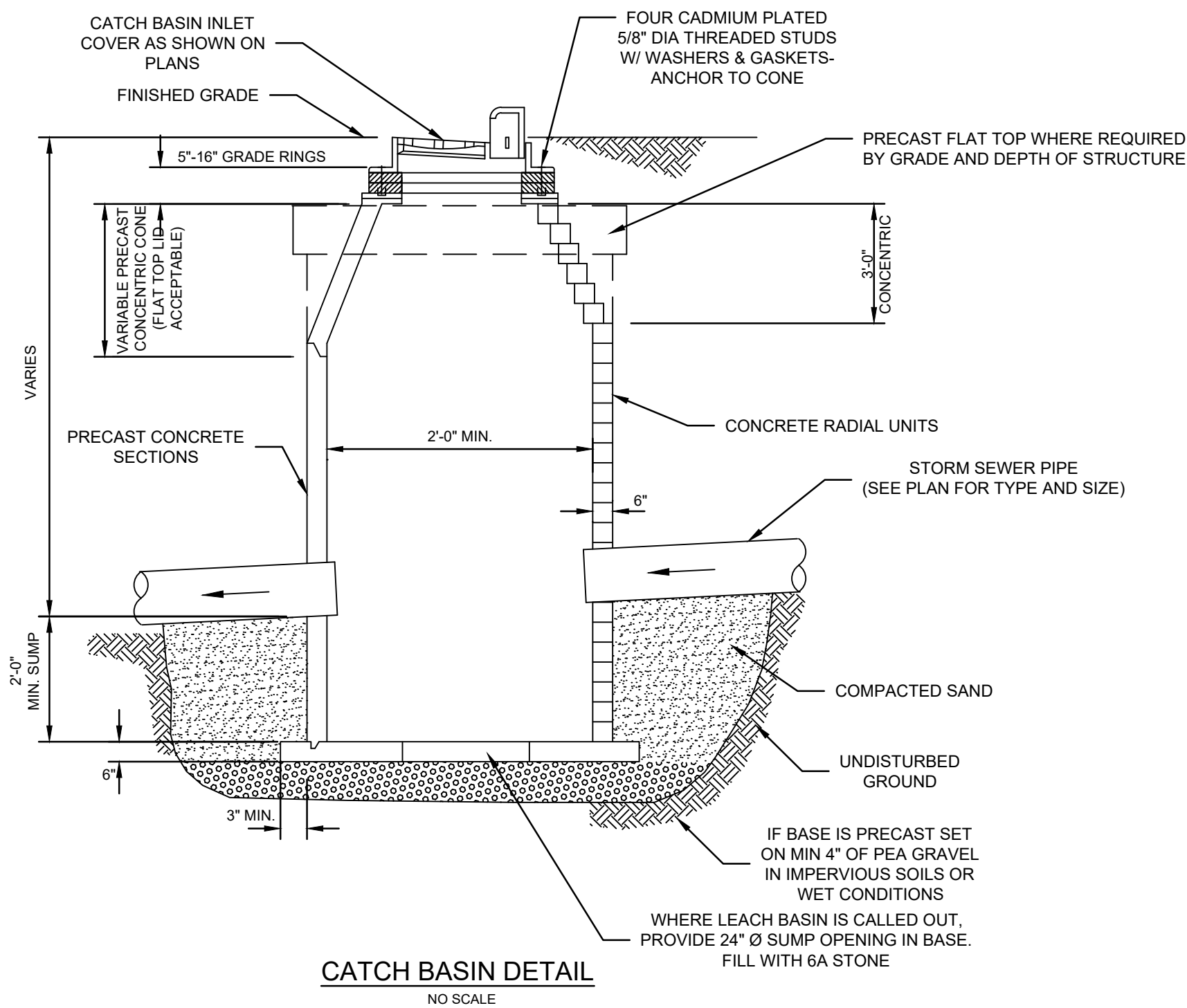
Plan Prepared By:
 Bruce A. Callen, P.E.
 Callen Engineering, Inc.
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 Tel: 616-414-5260
 email: bcallen@callenengineering.com

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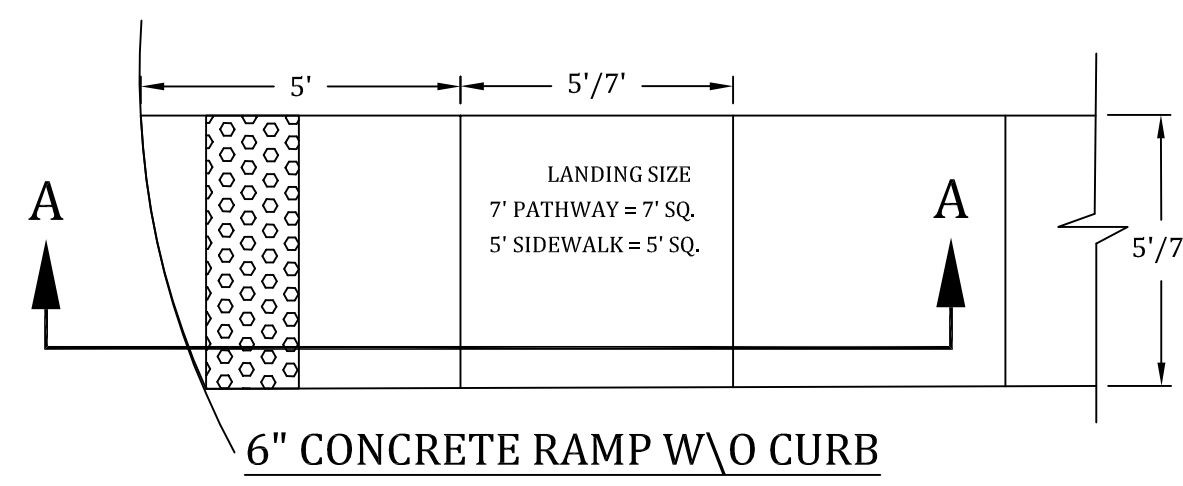
NO.	ISSUANCE / REVISION	BY	DATE
1	TOWNSHIP REVIEW	B.A.C.	02/17/21
2	TOWNSHIP REVIEW / RT #2	B.A.C.	02/25/21
3	SIRHAL CUL-DE-SAC REVISIONS	B.A.C.	06/29/21
4	SIRHAL CUL-DE-SAC REVISIONS	B.A.C.	08/17/21
5	REVISION IN ACCORDANCE WITH CONSTRUCTION RECORDS	B.A.C.	09/17/21

WOODWARD WAY DEVELOPMENT
 0 SIRHAL DRIVE
 MERIDIAN TOWNSHIP
 INGHAM COUNTY, MICHIGAN
 X-SECTIONS, NOTES, AND DETAILS

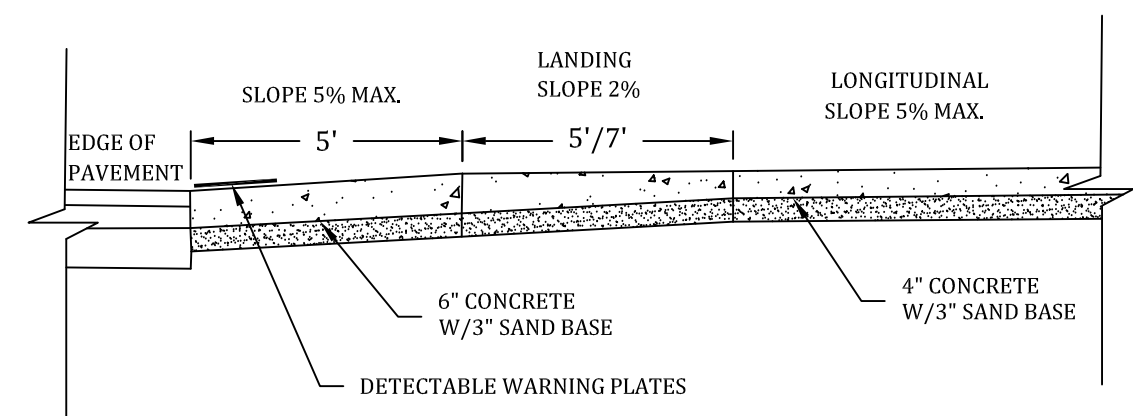
PROJECT	SCALE
020 WOODWARD WAY	AS NOTED
SHEET NO.	1:1

C4.1

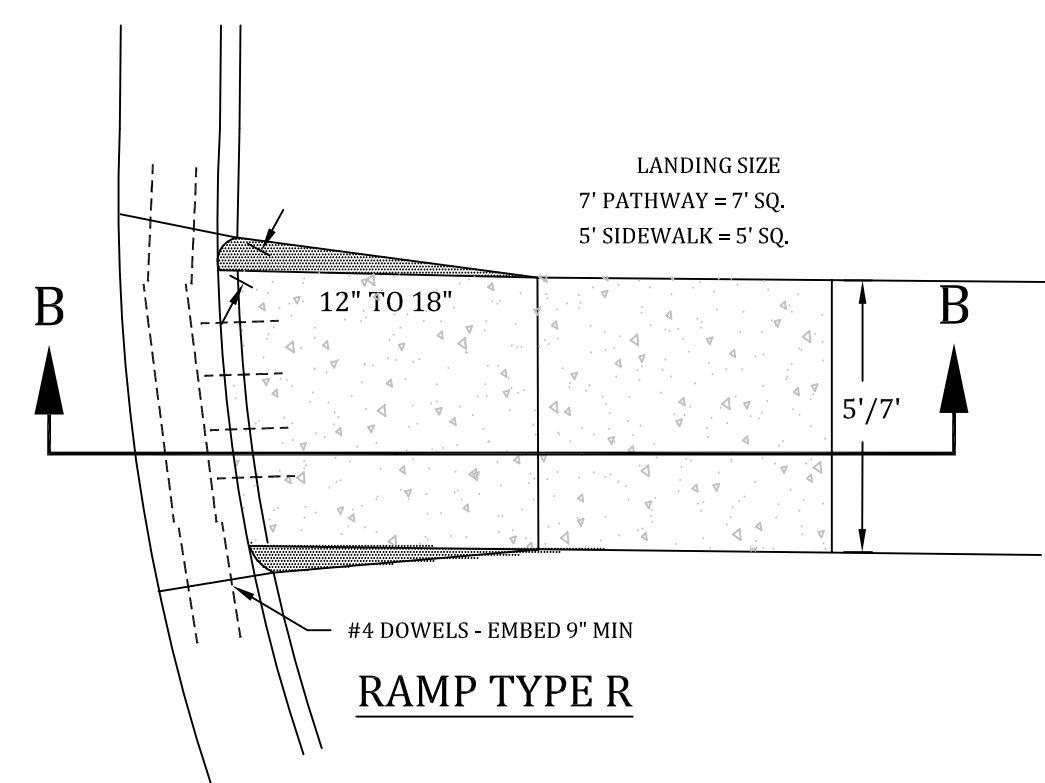
PRELIMINARY - NOT FOR CONSTRUCTION



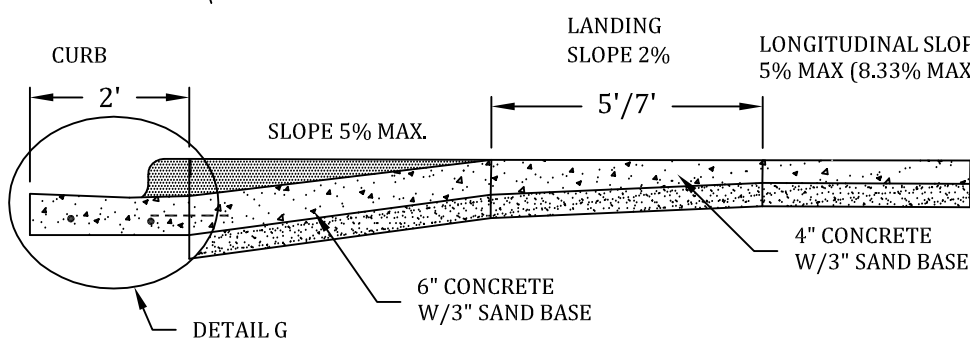
6" CONCRETE RAMP W/O CURB



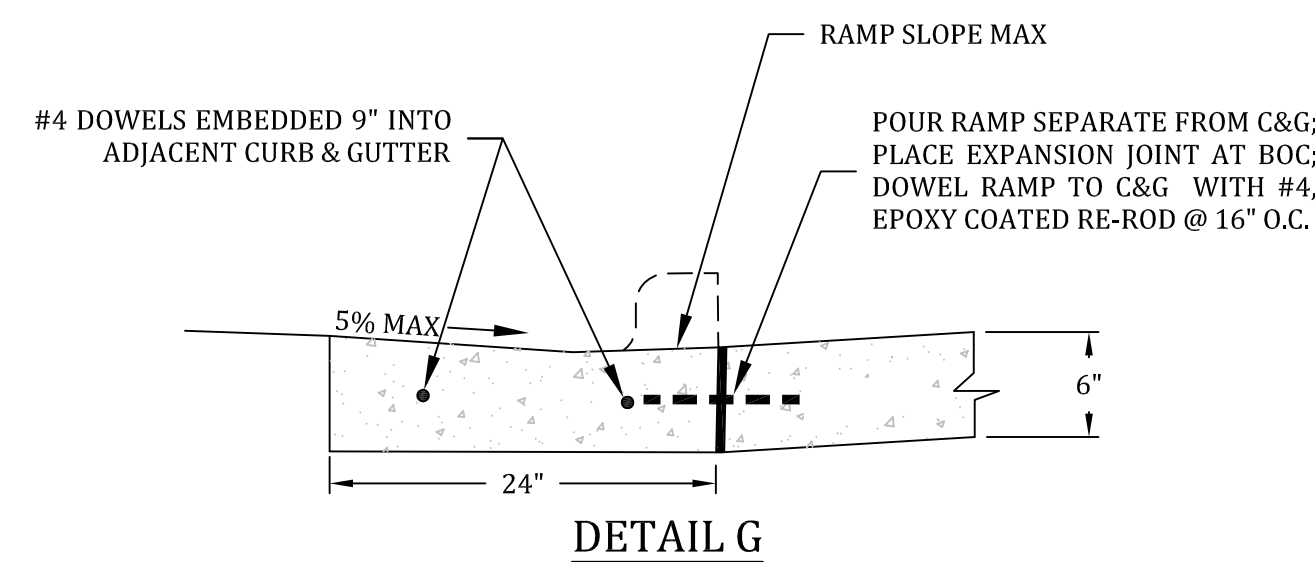
CROSS SECTION A-A



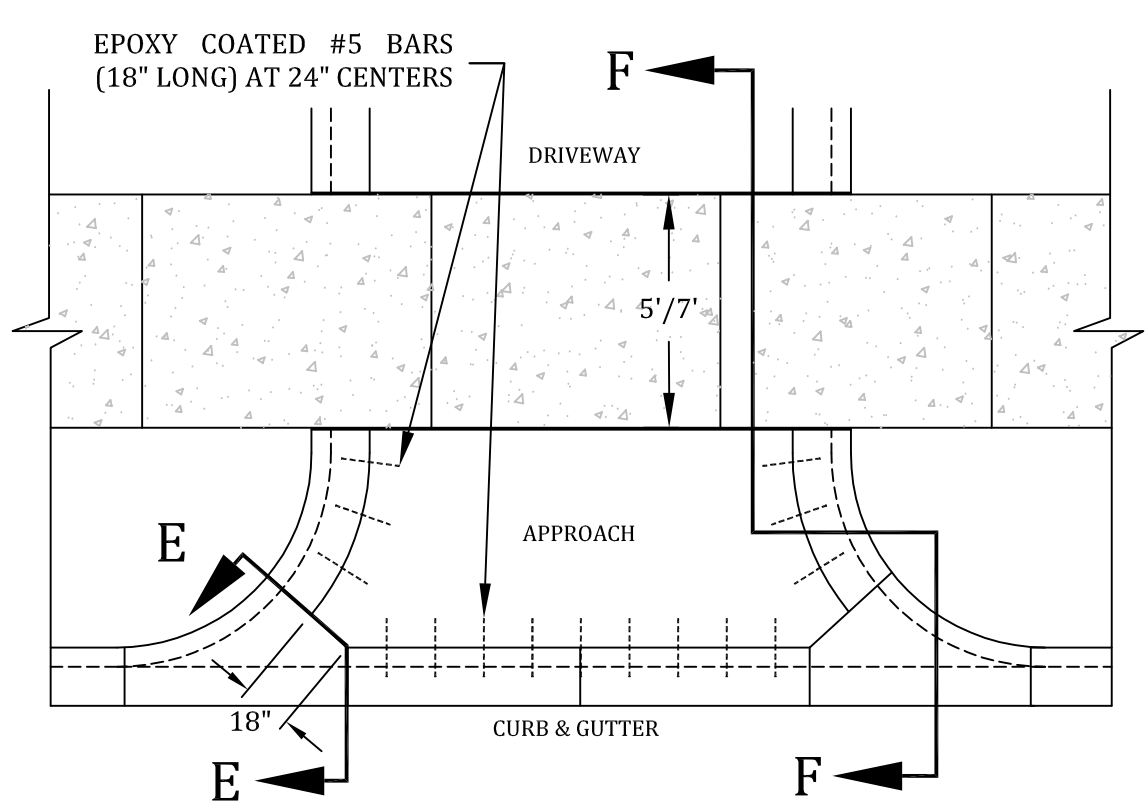
RAMP TYPE R



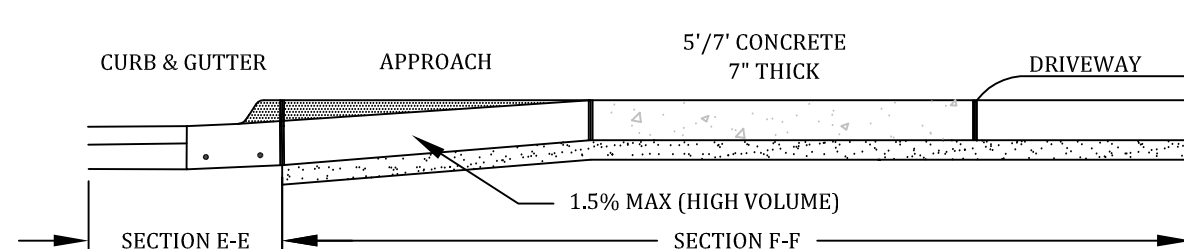
CROSS SECTION B-B



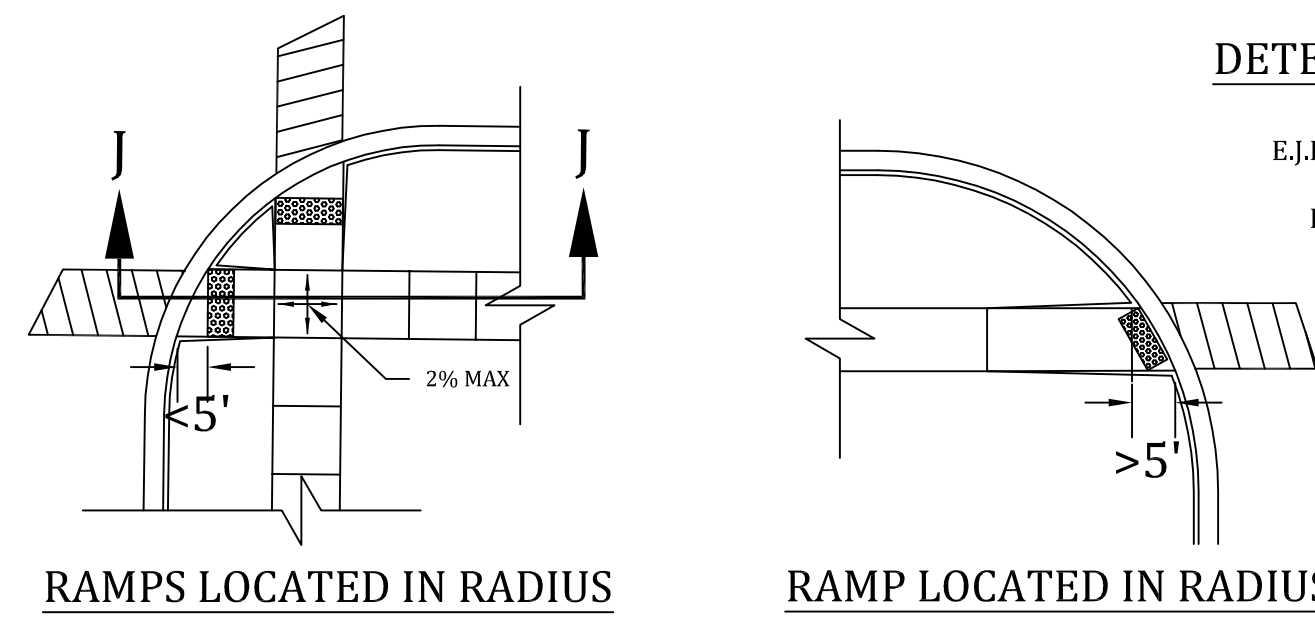
DETAIL G



TYP. COMMERCIAL DRIVEWAY PLAN

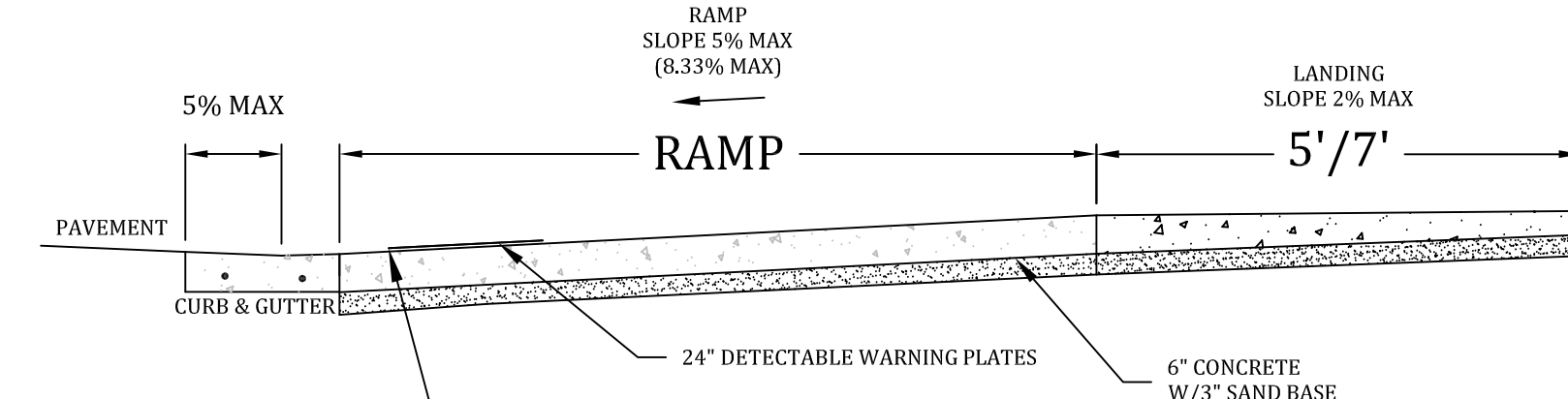


CROSS SECTIONS E-E; F-F



RAMP LOCATED IN RADIUS

RAMP LOCATED IN RADIUS

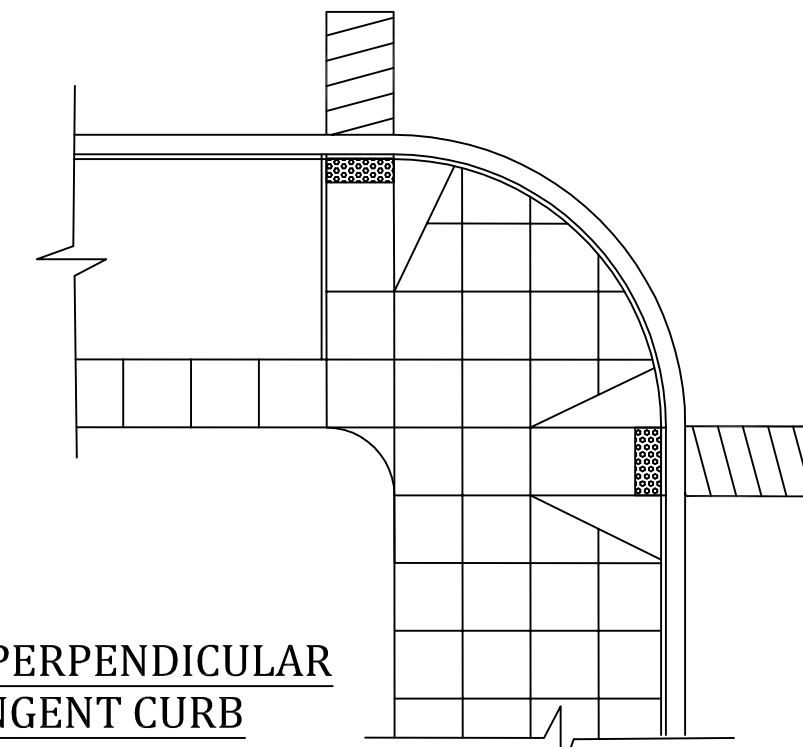


SECTION J-J

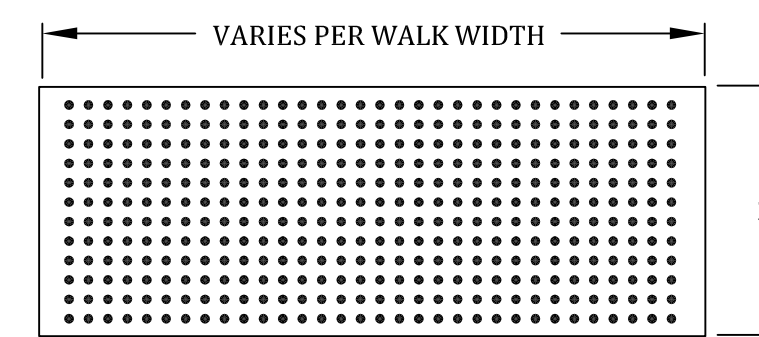
GRADE BREAKS AT THE TOP AND BOTTOM OF PERPENDICULAR CURB RAMP SHALL BE PERPENDICULAR TO THE DIRECTION OF TRAVEL. AT LEAST ONE END OF THE BOTTOM GRADE BREAK SHALL BE AT THE BACK OF CURB.

DETECTABLE WARNING DETAILS

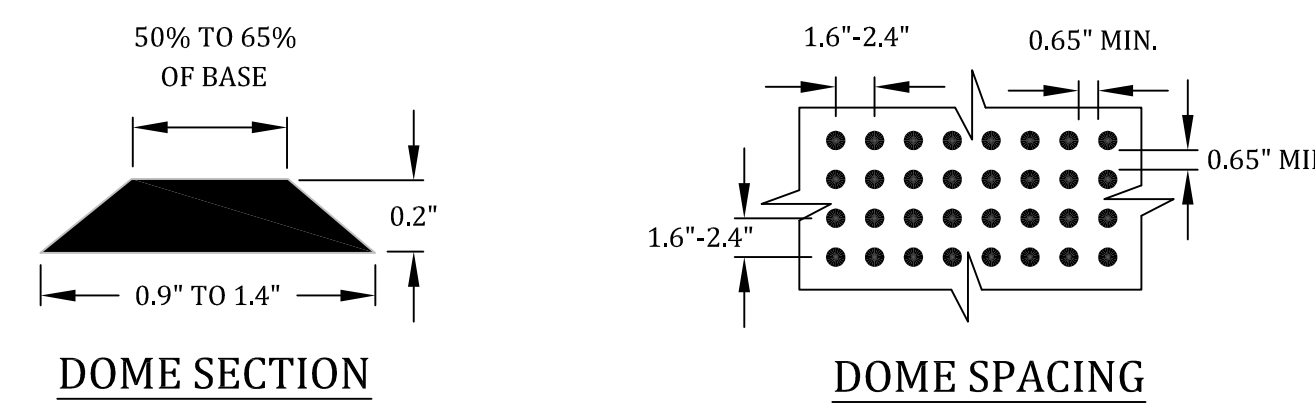
E.J.L.W. 7005 DETECTABLE WARNING PLATE
SIZES AVAILABLE 12", 18" & 24"
PLATES MUST BE ASPHALTIC COATED



RAMP PERPENDICULAR TO TANGENT CURB

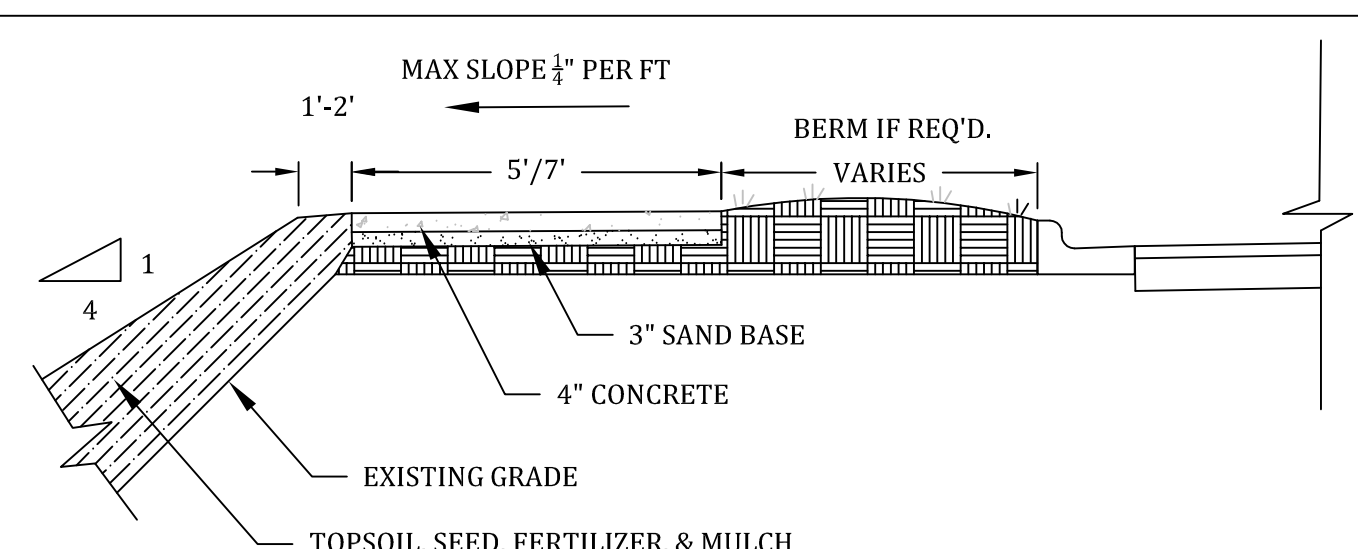


DOME ALIGNMENT

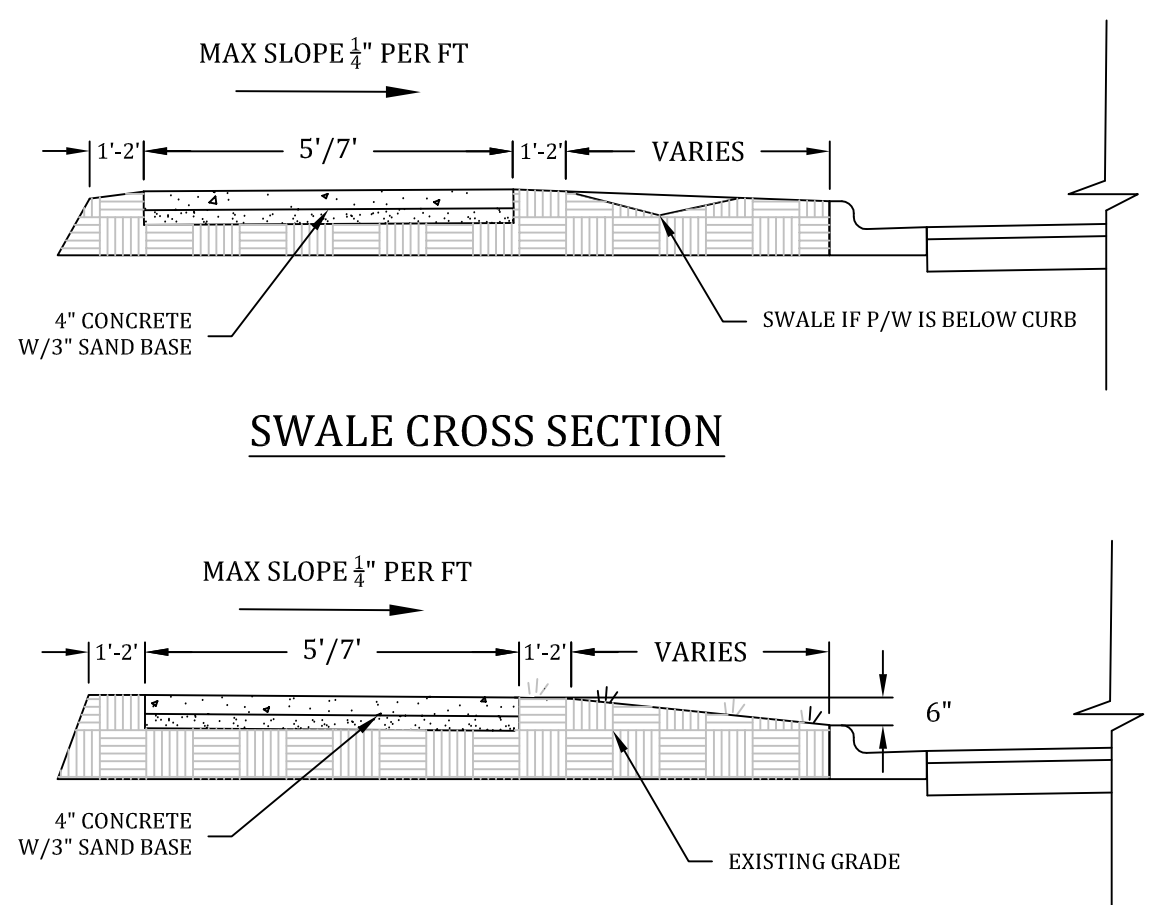


DOME SECTION

DOME SPACING

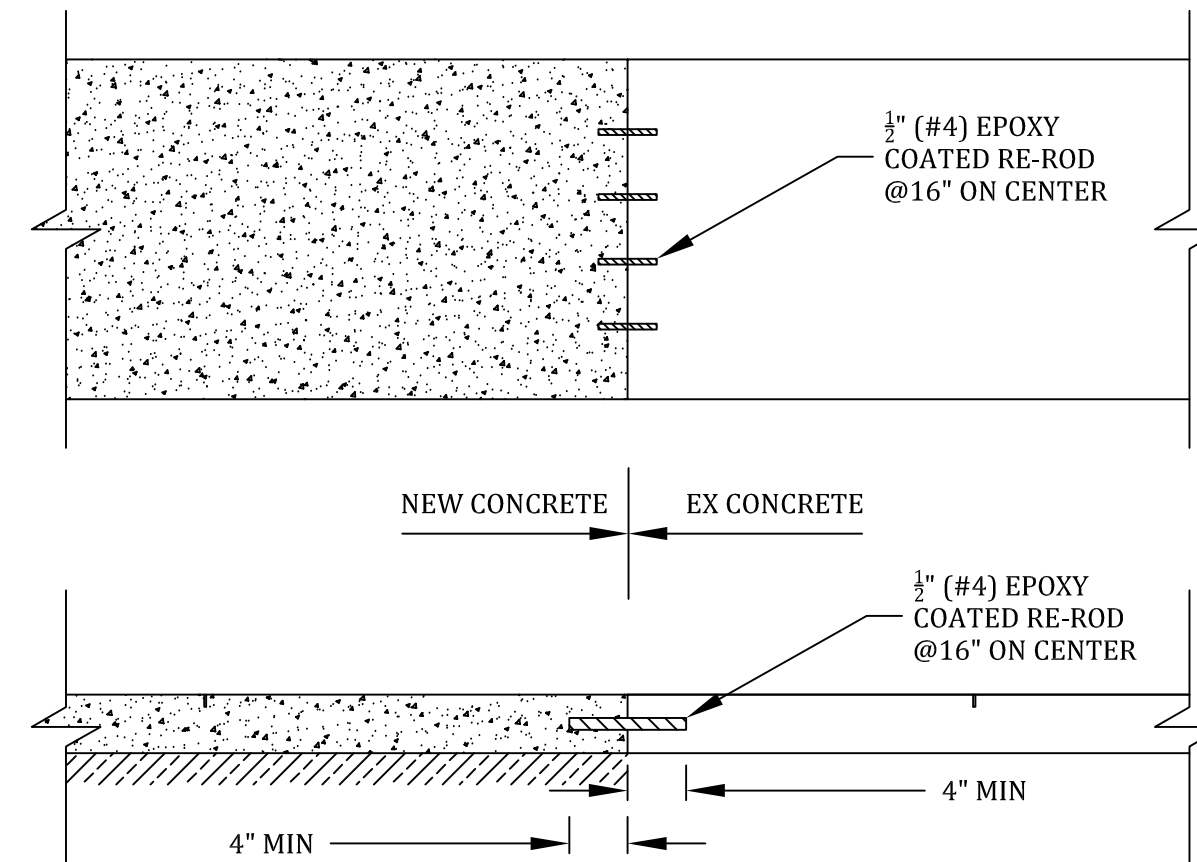


EMBANKMENT & BERM CROSS SECTION



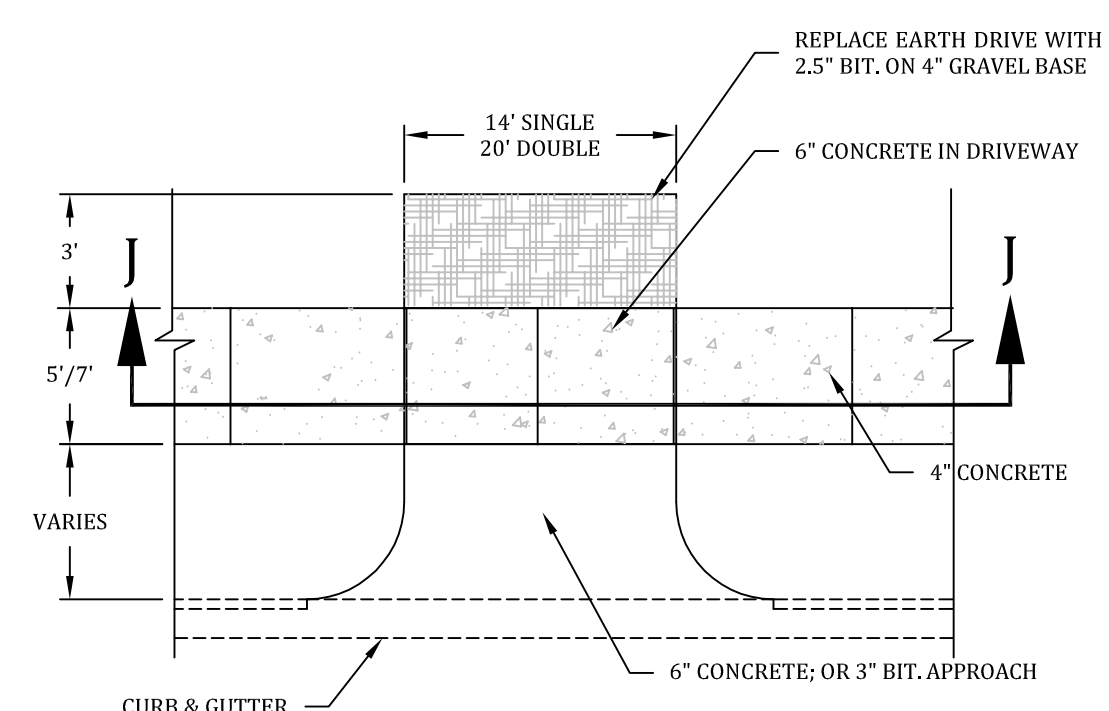
SWALE CROSS SECTION

TYPICAL CROSS SECTION

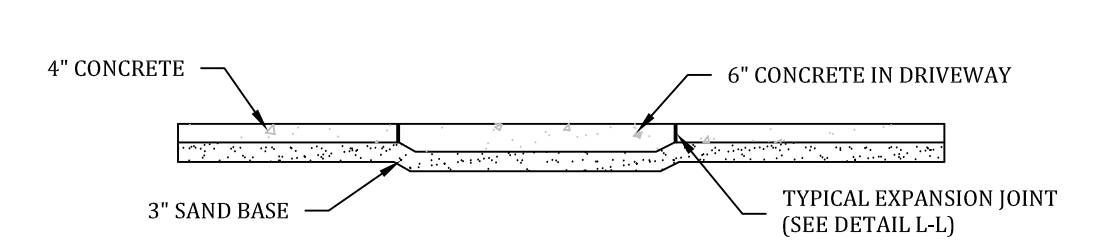


CONCRETE PINNING DETAIL

CROSS SECTION - (NO SCALE)

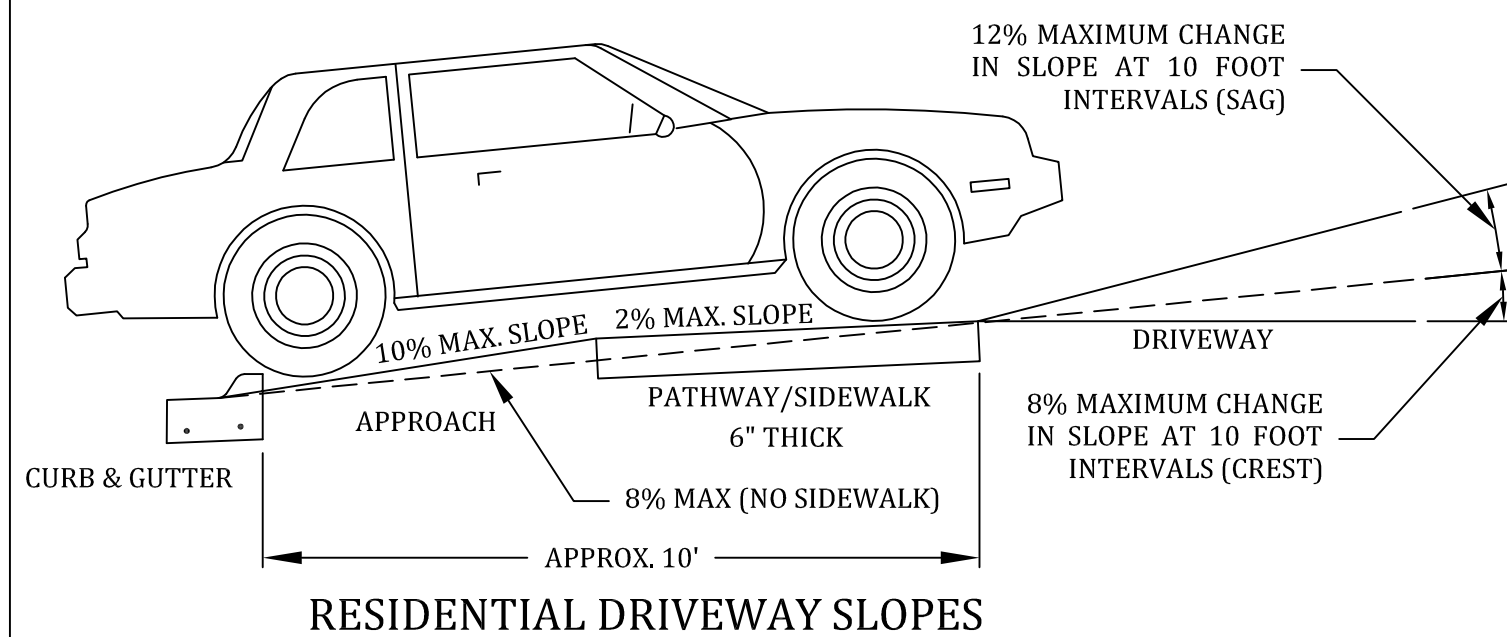


TYP. RESIDENTIAL DRIVEWAY PLAN

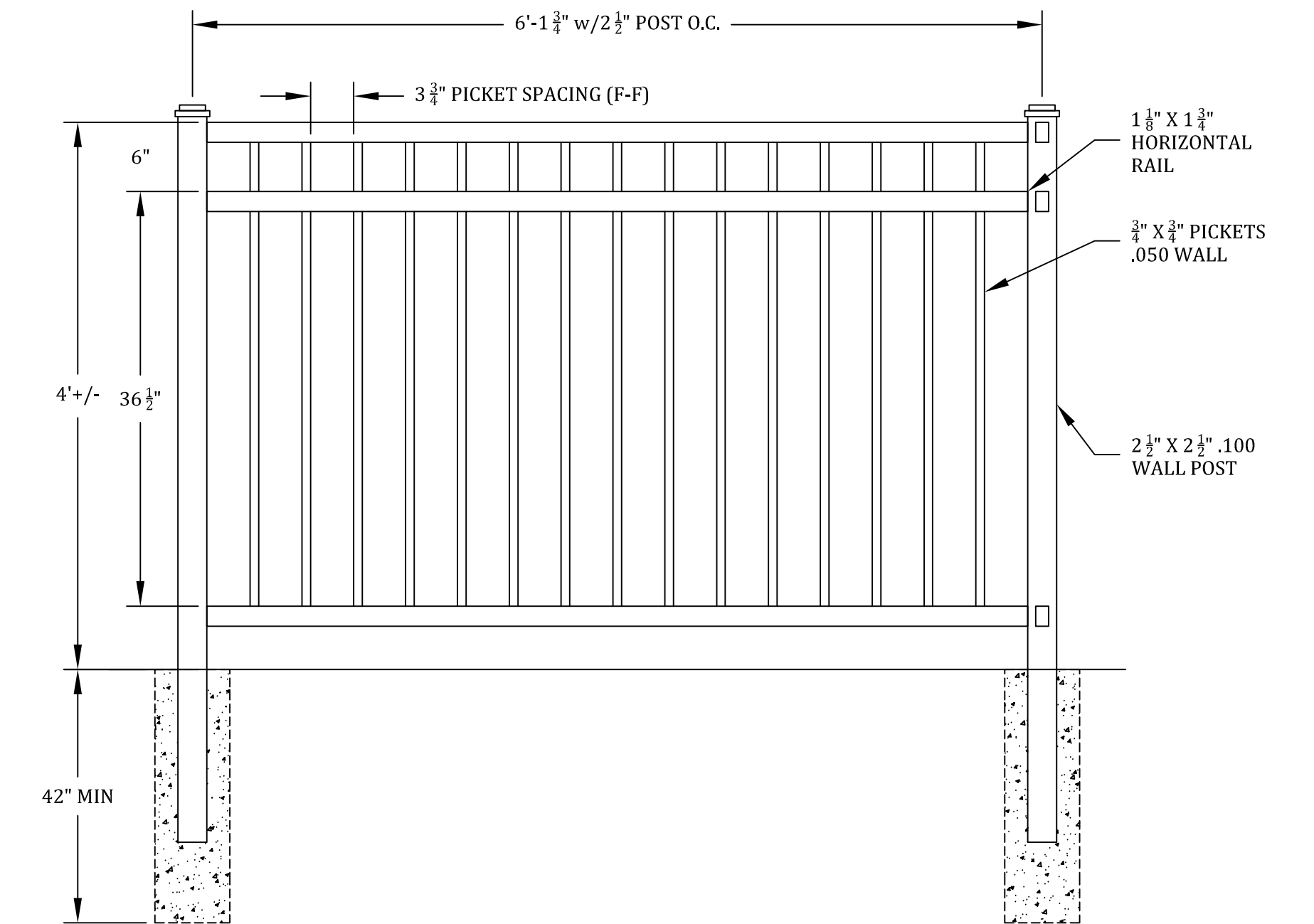


CROSS SECTIONS J-J

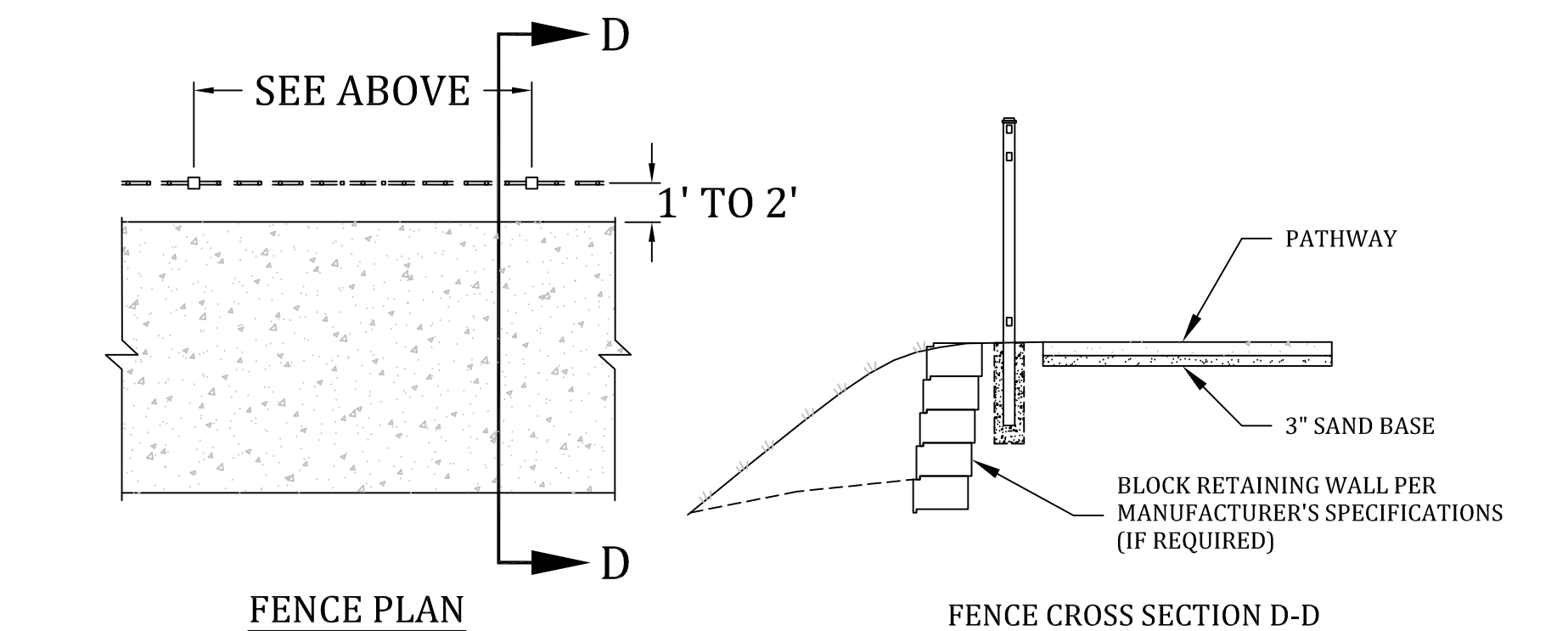
- GENERAL NOTES
1. SIDEWALKS/PATHWAYS SHALL BE 4" THICK CONCRETE EXCEPT AT DRIVEWAYS.
 2. SIDEWALKS/PATHWAYS THRU DRIVES SHALL BE: 6" (RESIDENTIAL); 7" (MULTI-RESIDENTIAL & COMMERCIAL)
 3. 3" OF COMPACTED SAND BASE SHALL BE PLACED UNDER ALL SIDEWALKS/PATHWAYS.
 4. ALL BITUMINOUS APRONS SHALL BE 2 1/2" THICK, UNLESS NOTED OTHERWISE
 5. PROPERTY IRONS SHALL BE MAINTAINED BY THE CONTRACTOR.
 6. ALL EXISTING CONCRETE AND BITUMINOUS TO BE REMOVED SHALL BE SAWCUT. ALL CONCRETE AND BITUMINOUS REMOVAL SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION.
 7. ALL AGGREGATE BASE SHALL BE 22A, 4" THICK.
 8. ALL TREE AND BUSH REMOVAL SHALL BE CONSIDERED PART OF SUB-GRADE PREPARATION.
 9. LOCATION OF NEW PLANT MATERIAL SHALL BE AS DIRECTED BY THE ENGINEER, AND SHALL BE INSTALLED IN ACCORDANCE WITH GUIDELINES ESTABLISHED BY THE A.A.O.N.
 10. ALL PLANT MATERIAL NOT MARKED FOR REMOVAL SHALL BE PROTECTED.
 11. BITUMINOUS DRIVES SHALL BE SAWCUT 18" ON EITHER SIDE OF PROPOSED PATHWAY.



RESIDENTIAL DRIVEWAY SLOPES



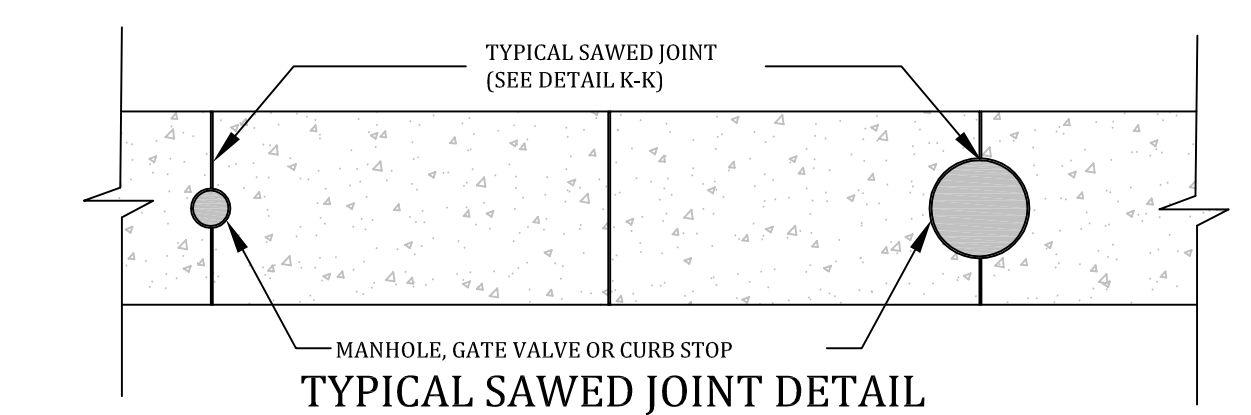
FENCE DETAIL



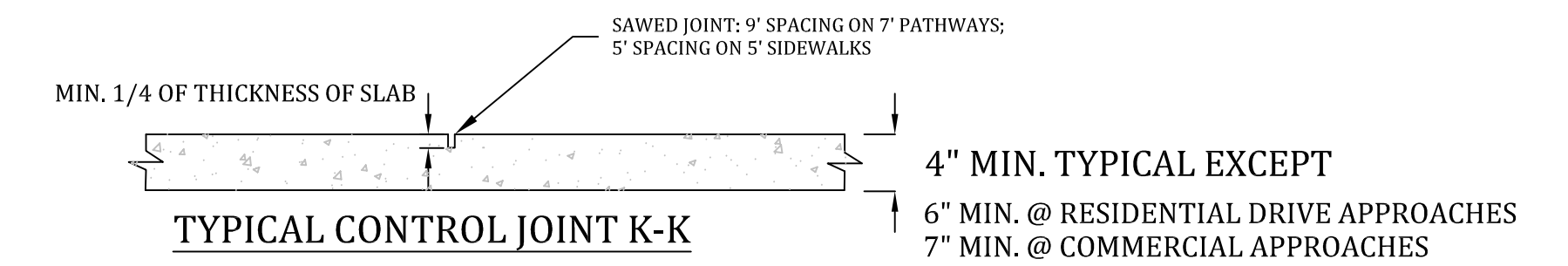
FENCE PLAN

FENCE CROSS SECTION D-D

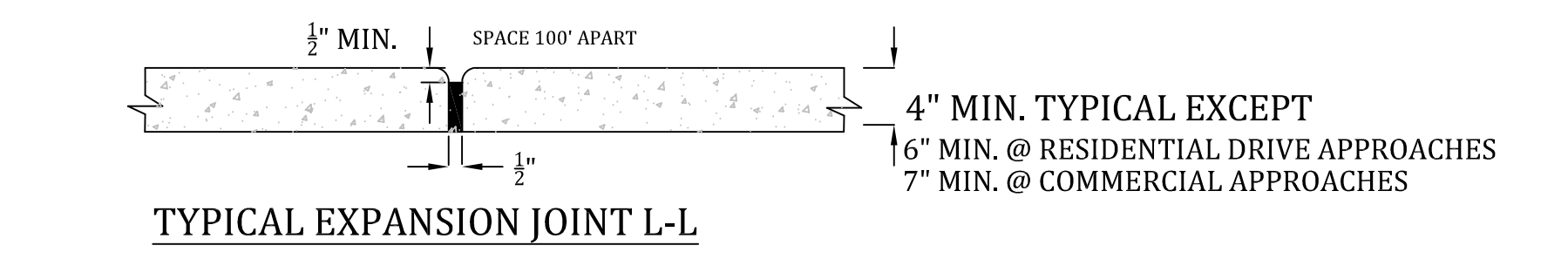
NOTE: FENCE POSTS CAN BE ANCHORED TO THE PATHWAY; THEN PATHWAY MUST BE WIDENED TO EIGHT FEET



TYPICAL SAWED JOINT DETAIL



TYPICAL CONTROL JOINT K-K



TYPICAL EXPANSION JOINT L-L

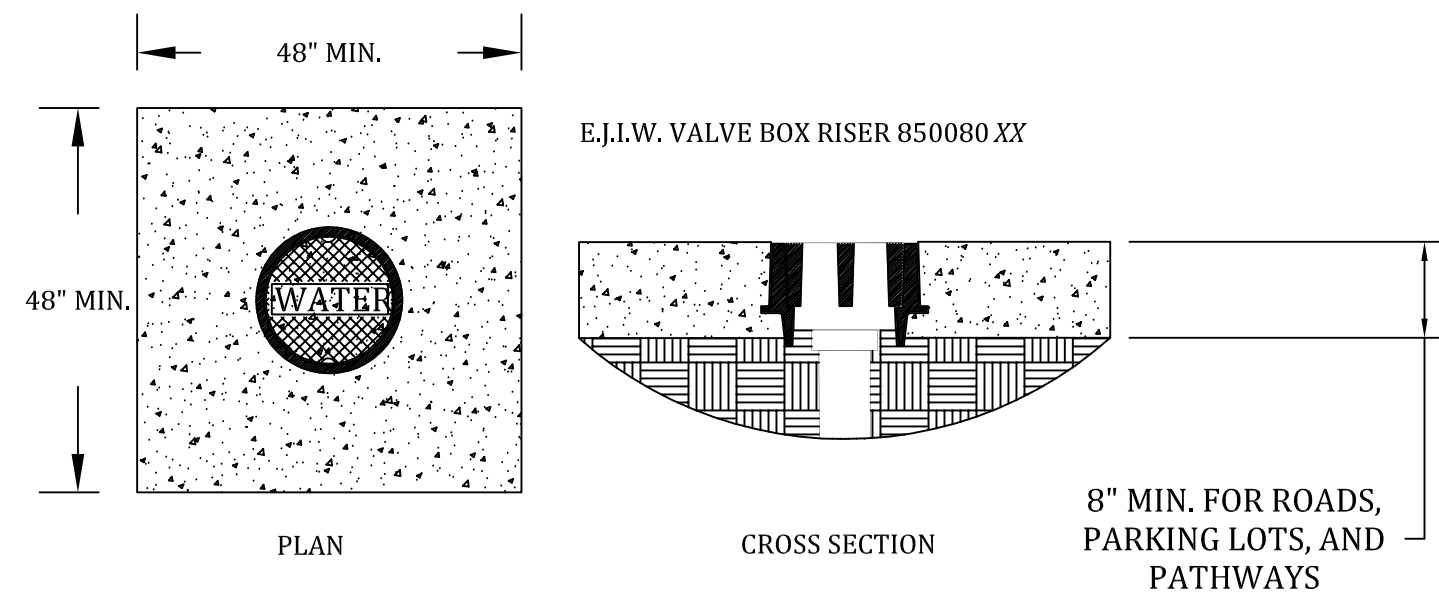
Meridian Charter Township
Ingham County, Michigan
ENGINEERING

5' SIDEWALK & 7' PATHWAY
DETAIL SHEET

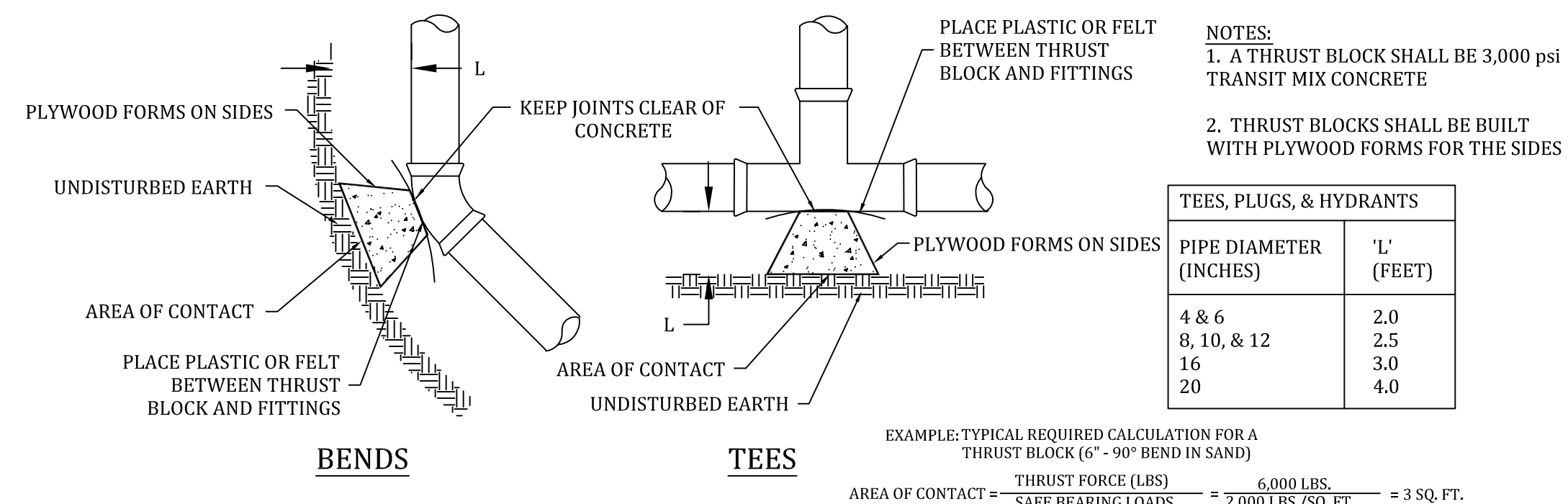
REVISIONS:		
DATE:	BY:	COMMENTS:
04/30/03	JG	ADD REBAR TO CURB & GUTTER
08/01/05	JG	CLARIFY RAMP DETAILS
12/20/06	JG	FENCE POST IN PVC PIPE W/SAND
12/29/08	JG	RAMPS W/ DETECTABLE WARNING PLATES
08/14/09	NN	LANDING CROSS SECTIONS
03/18/16	JG	DOWEL DETAIL FOR NEW/EX CONCRETE
01/22/18	NN	SPEC & DETAIL SHEET OVERHAUL
04/12/19	NN	FENCE & RET. WALL REVISION

SCALE: NONE	PAGE: C4.2	PAGE: PATHWAY DETAIL SHEET 2018.DWG
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DRAWN BY: JG 08/01/05 CHECKED BY: YI 08/01/05



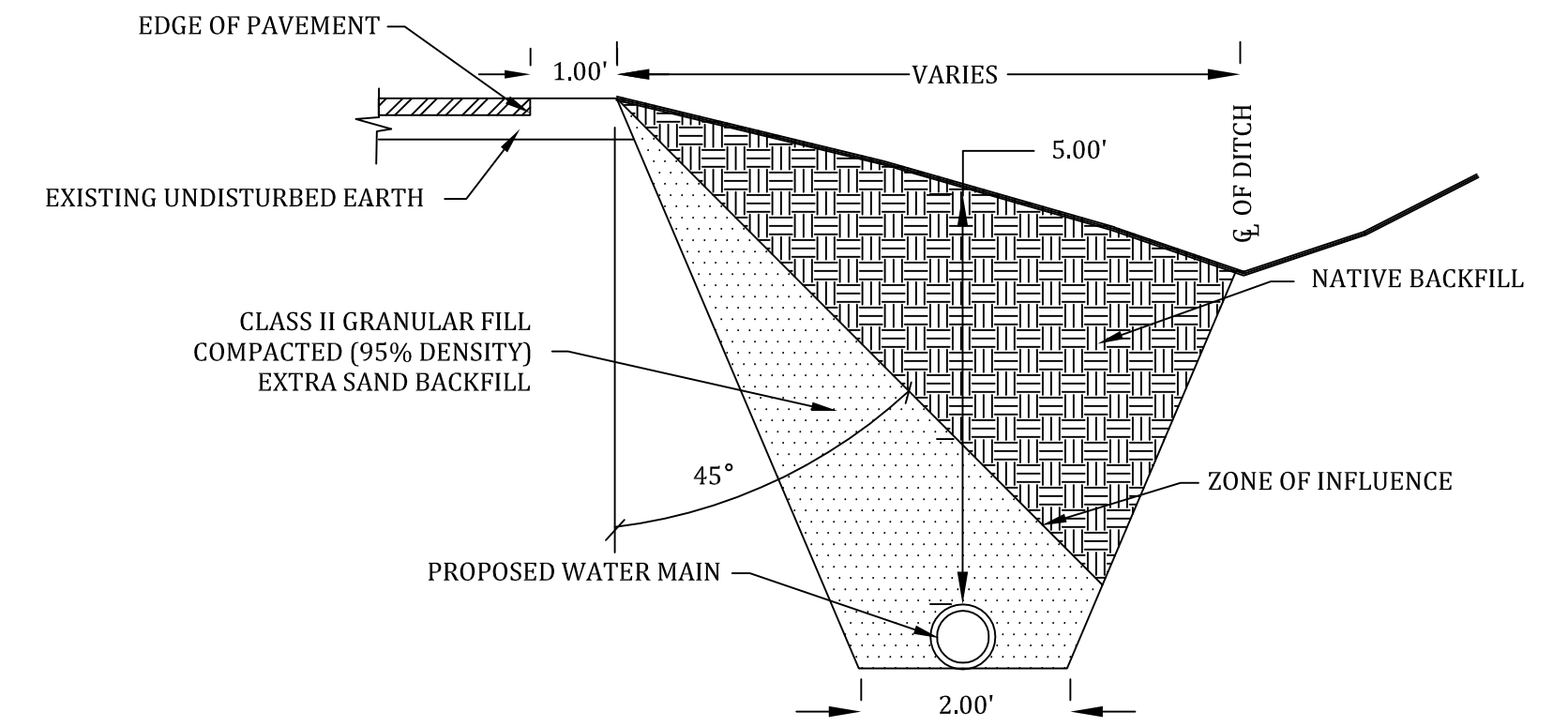
TYPICAL WATER SERVICE CROSS SECTION



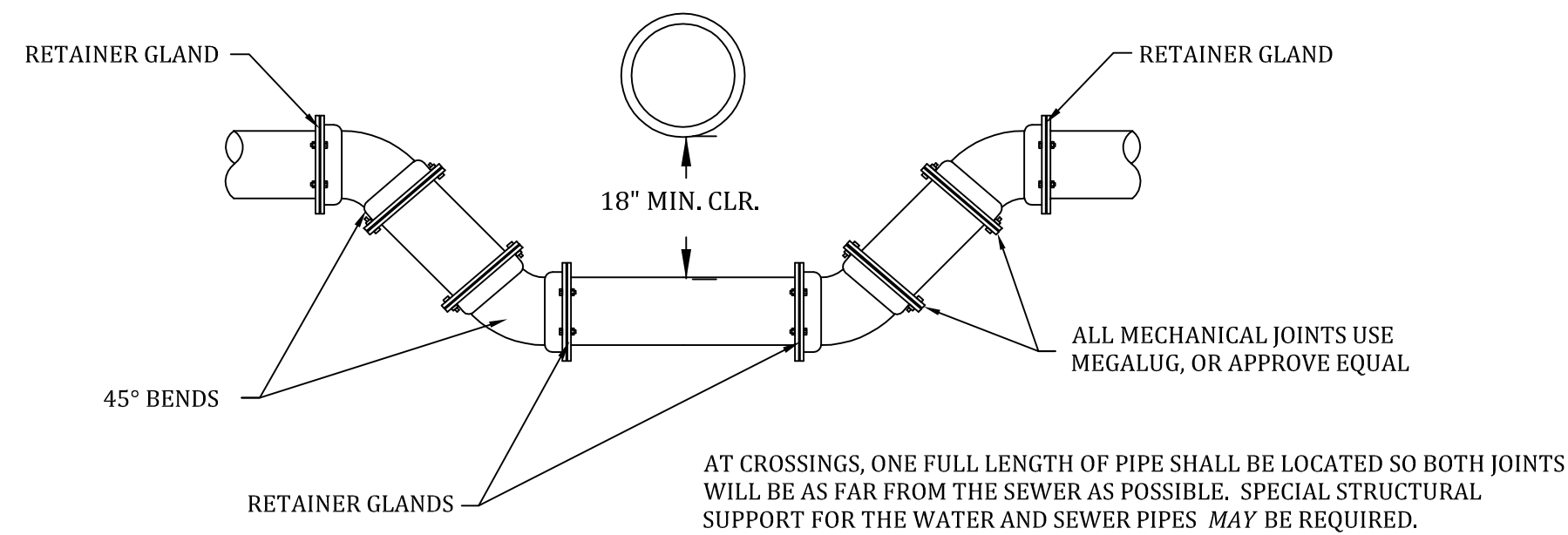
TEES, PLUGS, & HYDRANTS			
PIPE DIAMETER (INCHES)	'L' (FEET)		
4 & 6	2.0		
8, 10, & 12	2.5		
16	3.0		
20	4.0		

THRUST FORCE (LBS)			
PIPE SIZE	TEE/PLUG	90° BEND	45° BEND
4"	1,900	2,700	1,500
6"	4,250	6,000	3,250
8"	7,540	10,670	5,770
10"	12,000	16,750	9,100
12"	16,970	23,990	12,980
16"	30,100	42,600	23,100

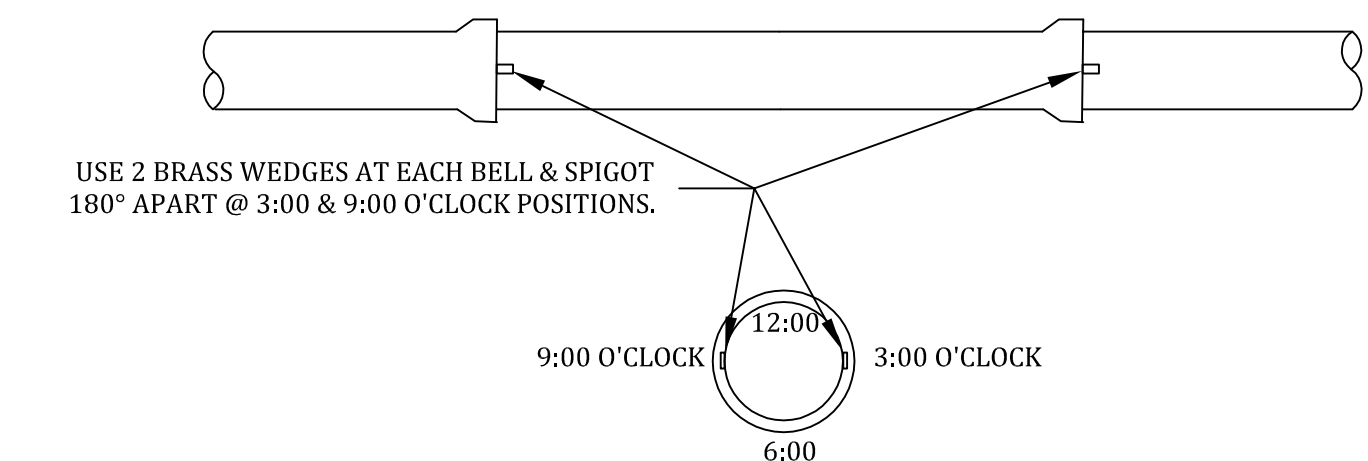
THRUST BLOCK PLAN VIEWS



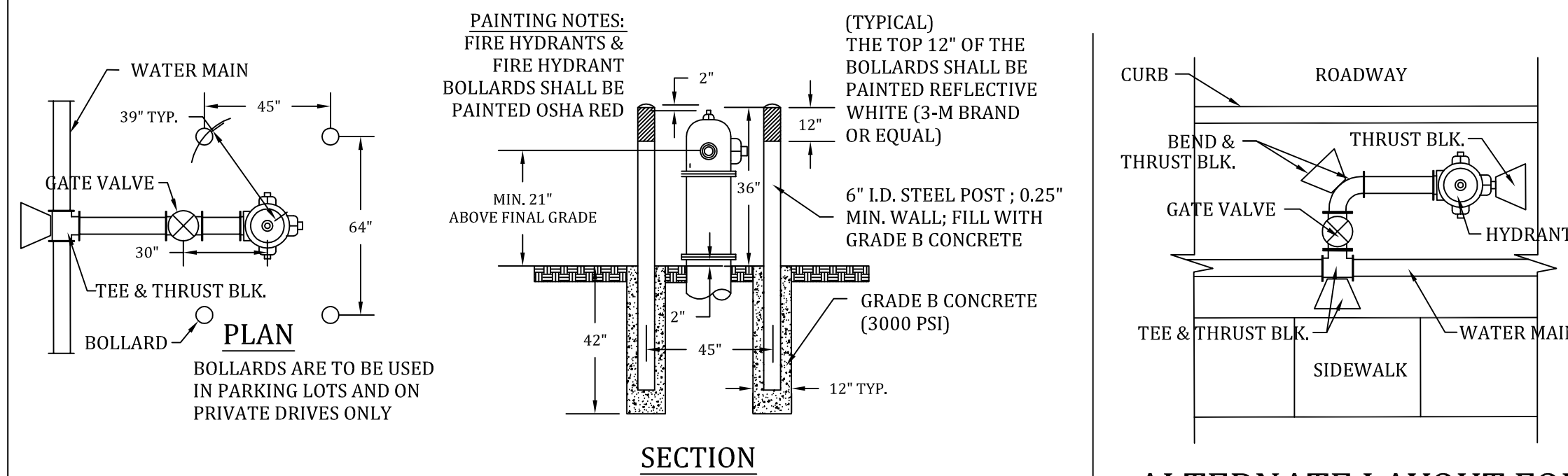
TYPE-1 TRENCH CROSS SECTION



LOWERING WATER MAIN CROSS SECTION

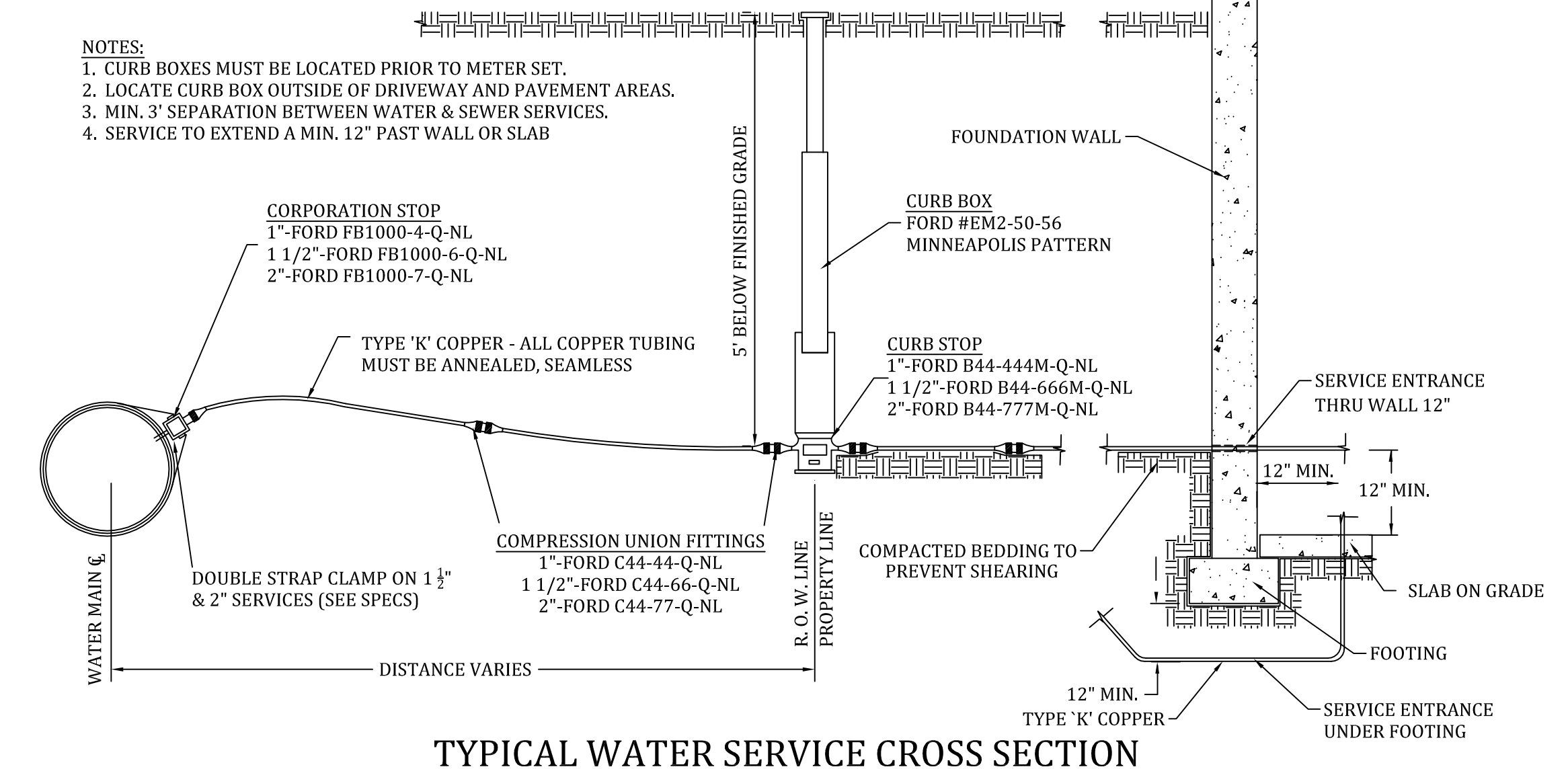


WATER MAIN JOINT DETAILS



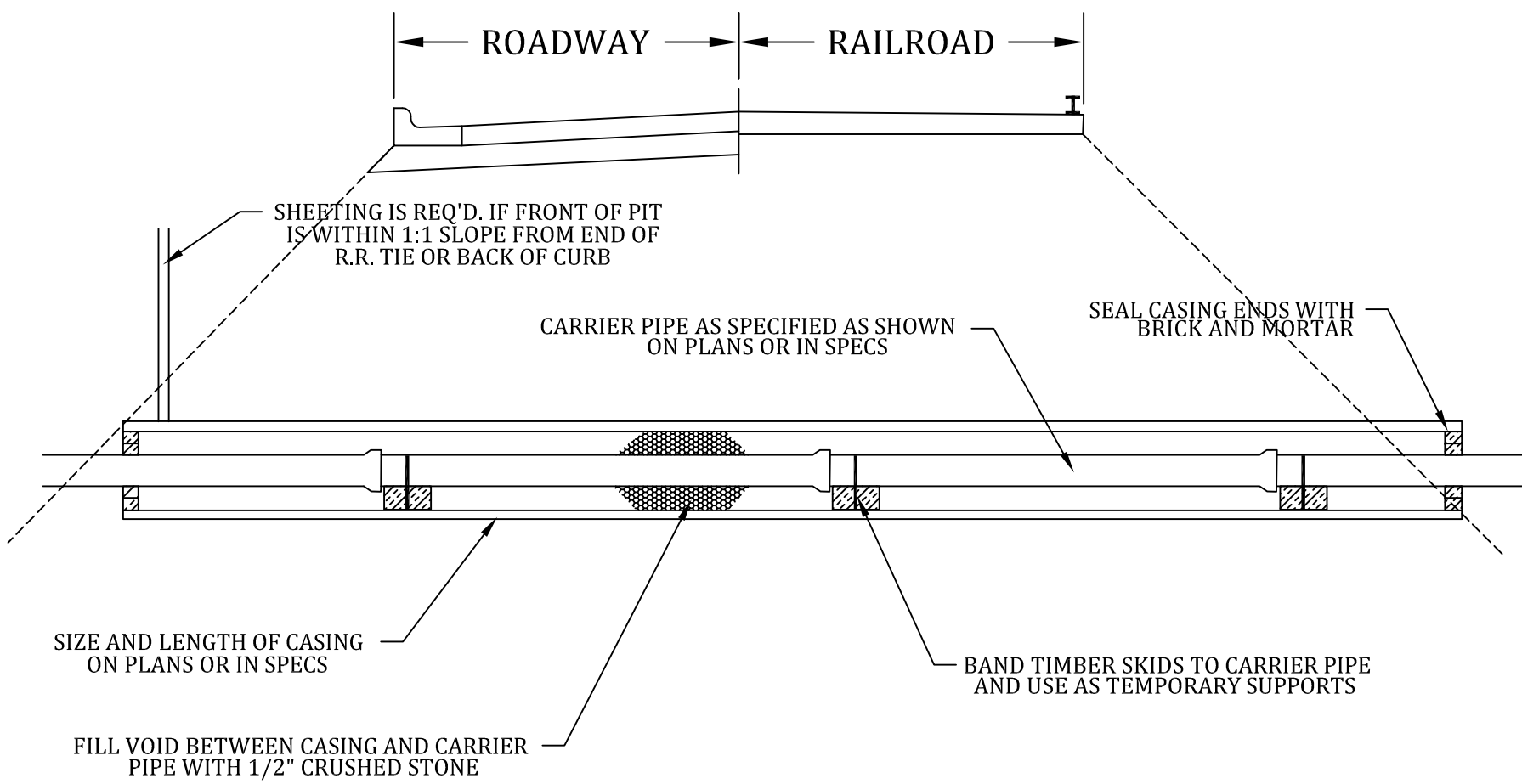
BOLLARDS AROUND FIRE HYDRANT

ALTERNATE LAYOUT FOR CONFINED AREAS

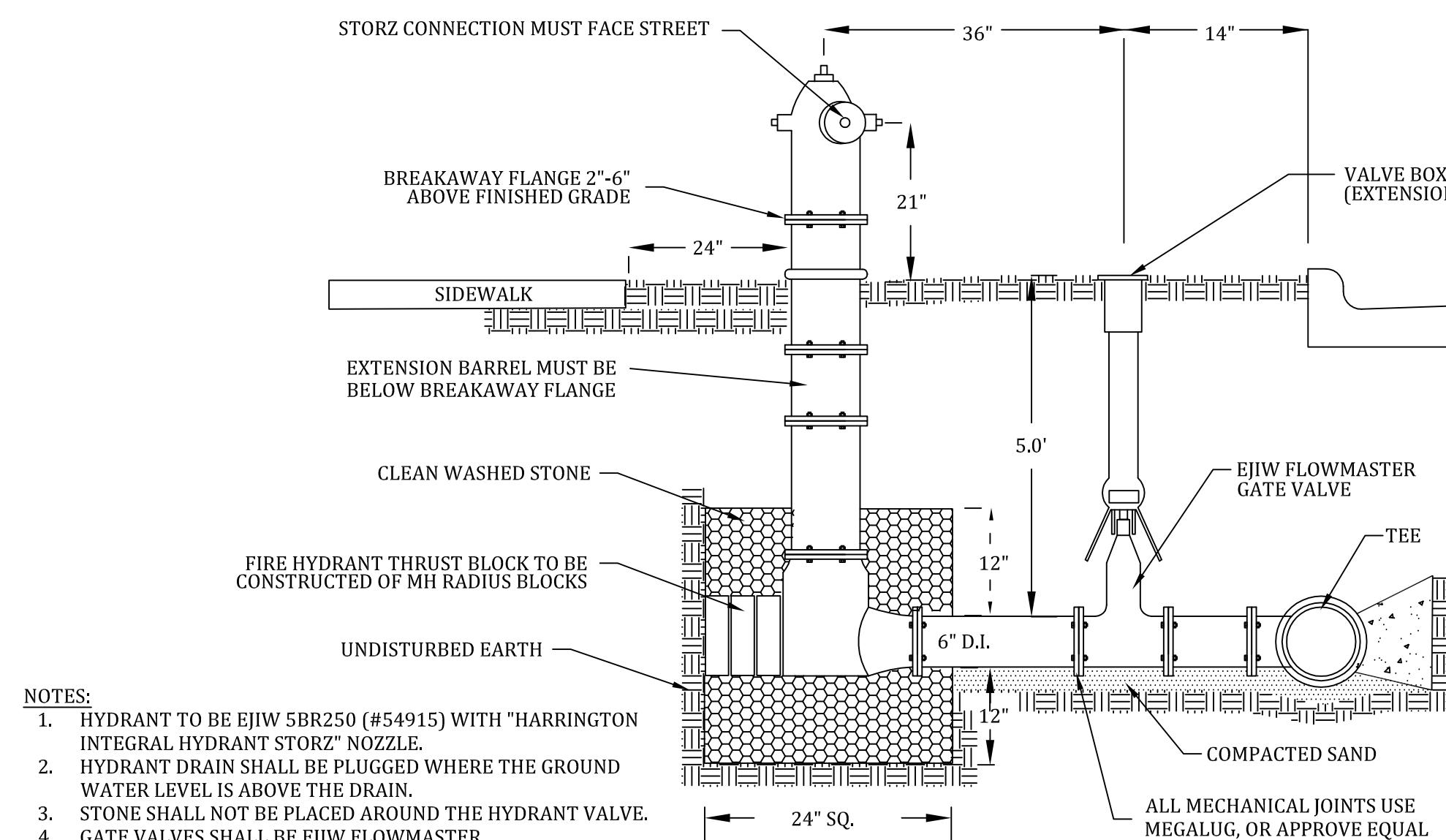


TYPICAL WATER SERVICE CROSS SECTION

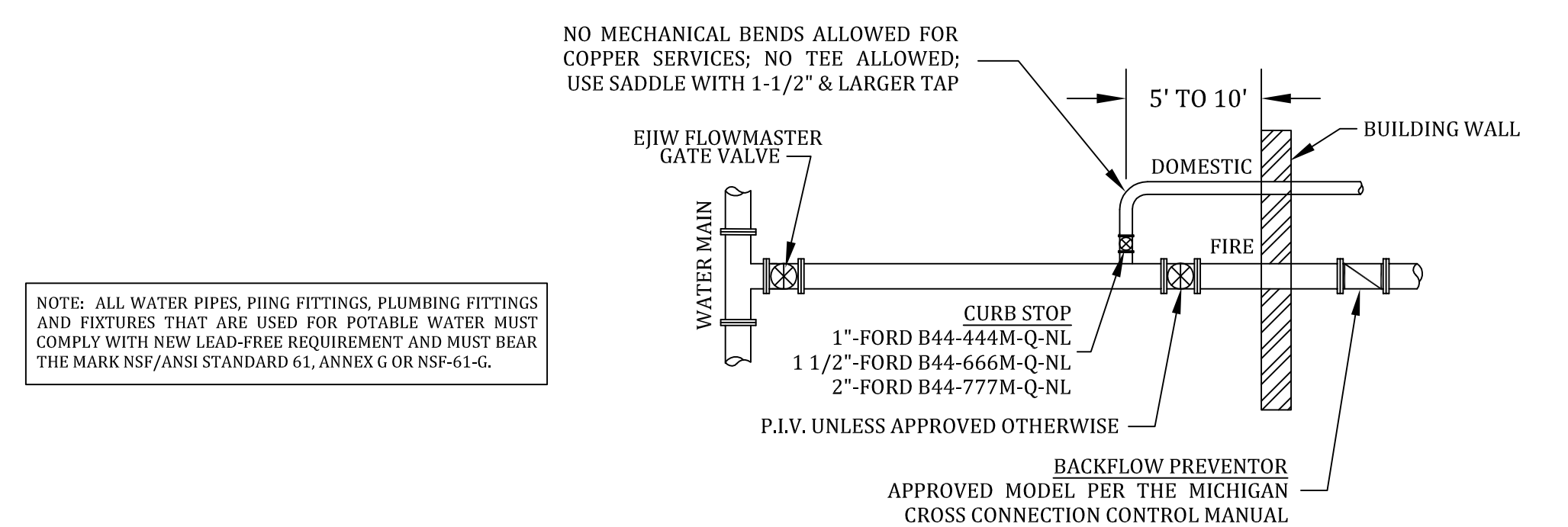
- NOTES:
 1. WORK IN ROADS AND IN RAILROAD RIGHT-OF-WAYS SHALL BE IN ACCORDANCE WITH THE APPROPRIATE REGULATORY AGENCY'S REQUIREMENTS.
 2. CASING PIPE SHALL BE ASTM 139, GRADE B OR ASTM A-53, GRADE B OR API 5-L, GRADE B OR API GRADE B WITH 0.375" MINIMUM WALL THICKNESS.



CASING INSTALLATION DETAIL FOR ROADS & RAILROADS



TYPICAL HYDRANT ASSEMBLY DETAIL



FIRE PROTECTION VALVING PLAN VIEW

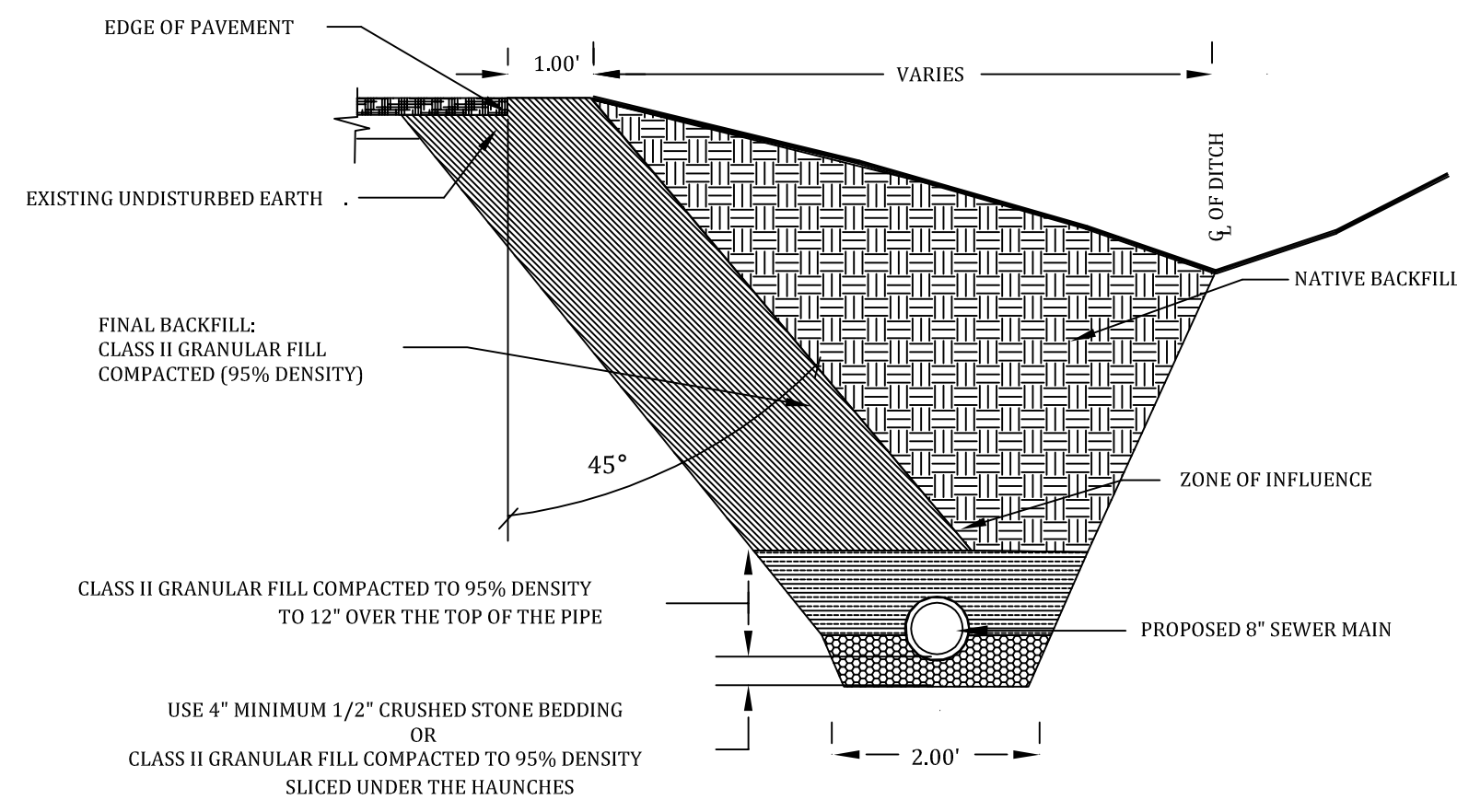
Meridian Charter Township
Ingham County, Michigan
Public Works Department

STANDARD DETAILS FOR WATER DISTRIBUTION SYSTEM

REVISIONS:		
DATE:	BY:	COMMENTS:
01/13/07	JG	Add Fire Hydrant Bollards
03/31/09	JG	Clarify Curb Stop Models
01/12/10	JG	Clarify PIV
10/22/12	JG	Clarify Water Service Make & Size
06/13/14	JG	Clarify Curb Box Manufacturer & Model
10/13/17	JG	Water Crossing Note - Full Length Pipe
01/10/20	NN	Reorganize

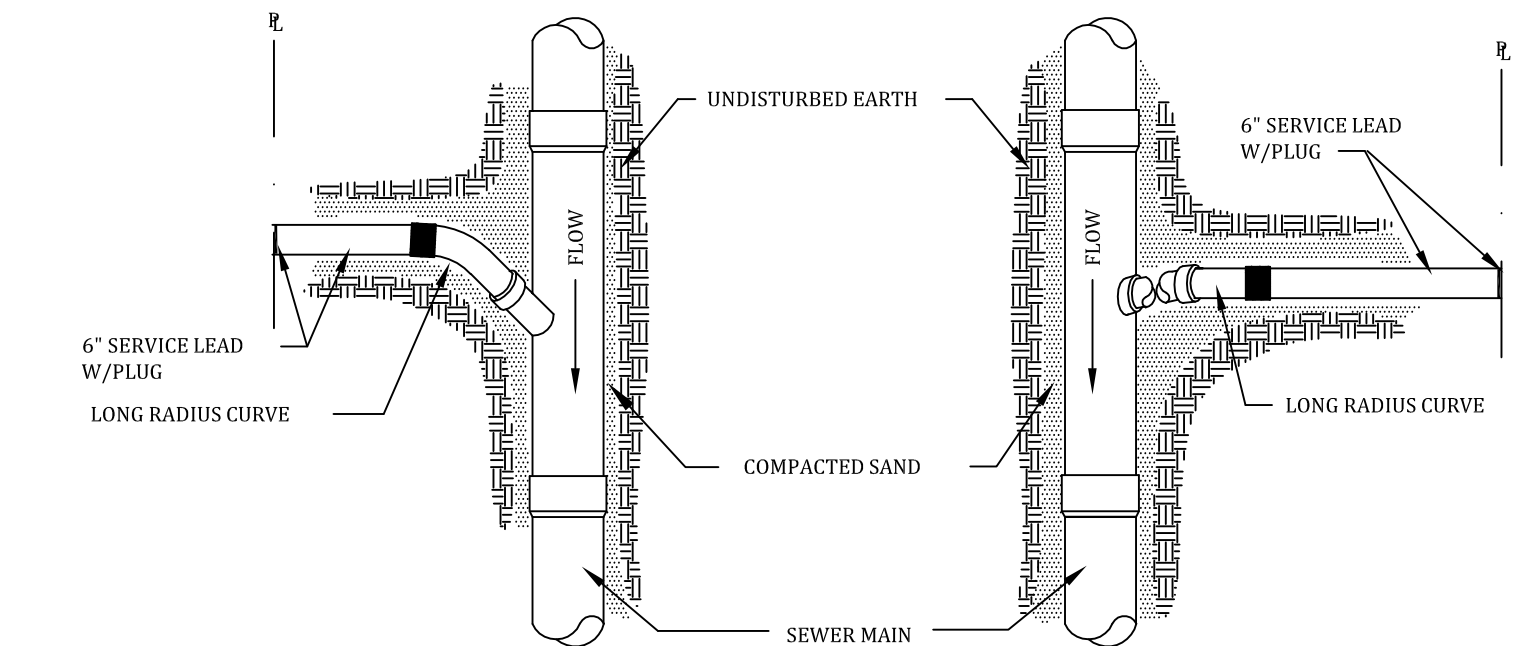
SCALE: NTS PAGE: C4.3 FILE: Water Detail Sheet 2018.dwg

DRAWN BY: CHECKED BY:



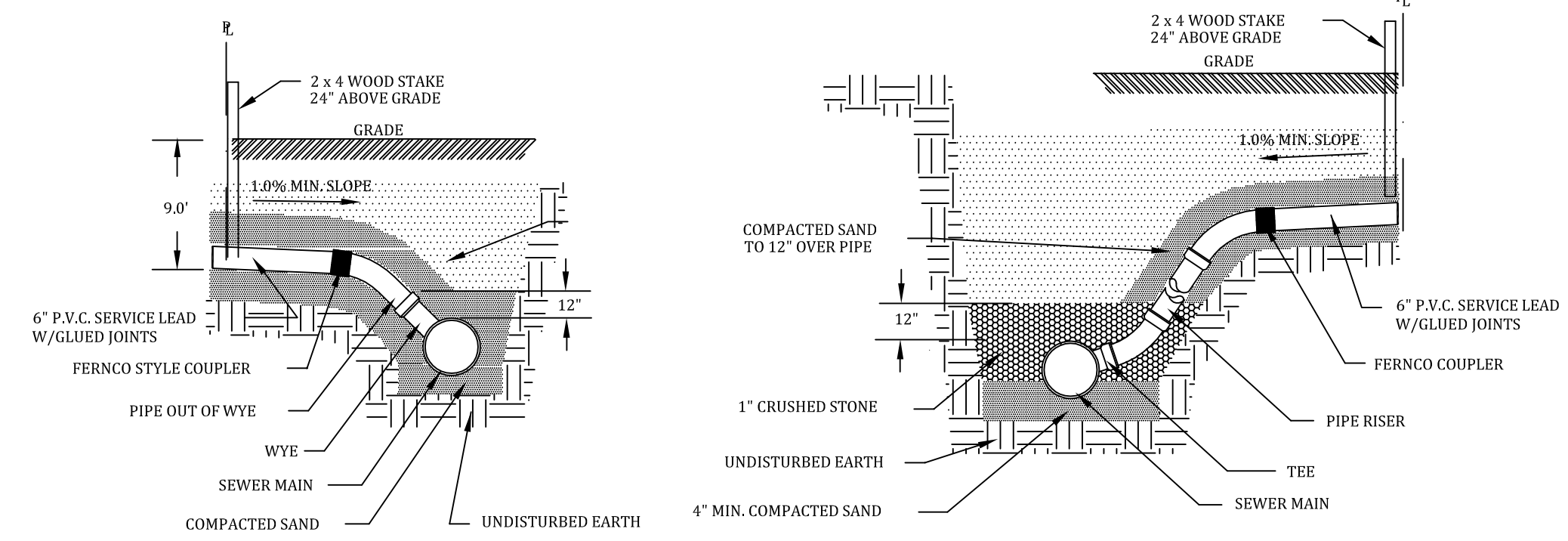
CLASS-B TRENCH DETAIL

- NOTES
- LEADS AND RISERS SHALL BE CONSTRUCTED OF MATERIALS AS SPECIFIED AND OF SIZES AS SHOWN ON PLAN.
 - DEPTH AT PROPERTY LINE SHALL BE 9' UNLESS SHOWN OTHERWISE ON PLANS.
 - IF CONCRETE PIPE IS USED, AN ASBESTOS CEMENT BELL IS TO BE CAST IN WALL OF PIPE FOR USE AS TEE BRANCH.
 - FERNCO STYLE FLEXIBLE COUPLINGS SHALL BE USED WHEN CONNECTING HOUSE TO STUB.
 - MIN. 3" SEPARATION BETWEEN WATER & SEWER SERVICES.
 - ALL REFERENCES TO STONE BEDDING SHALL MEAN CRUSHED STONE.



PLAN WITHOUT RISER

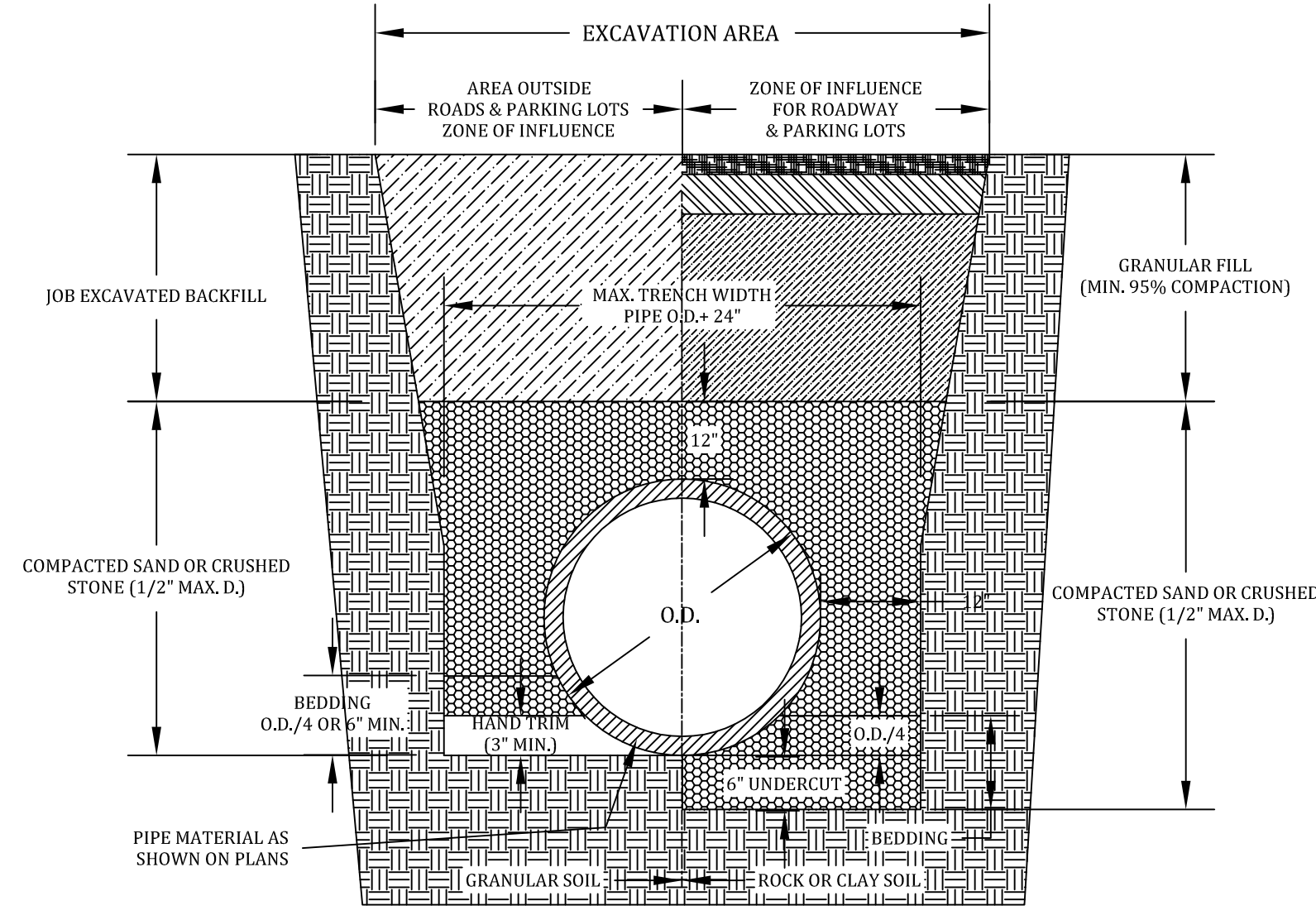
PLAN WITH RISER



SECTION WITHOUT RISER

SECTION WITH RISER

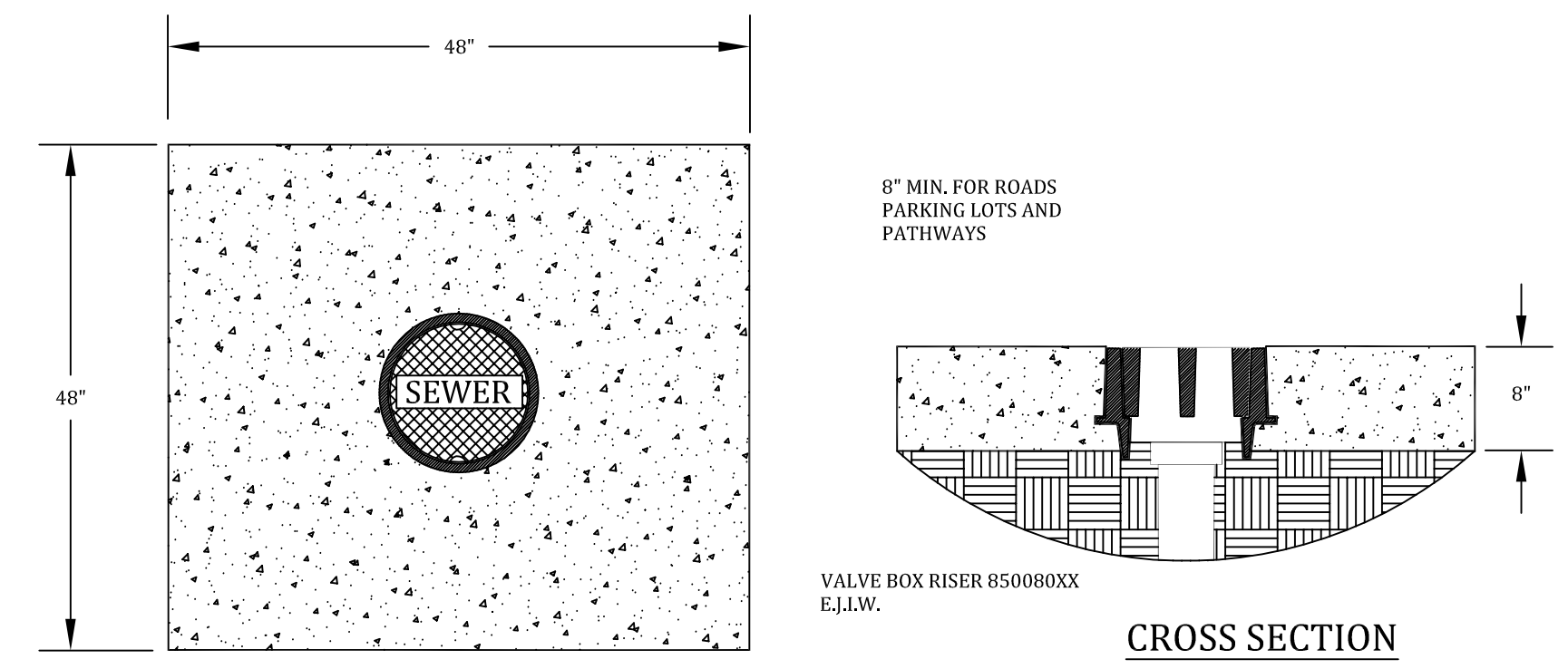
SERVICE/CONNECTION DETAIL



TYPICAL TRENCH DETAIL (SDR26 PVC ONLY)

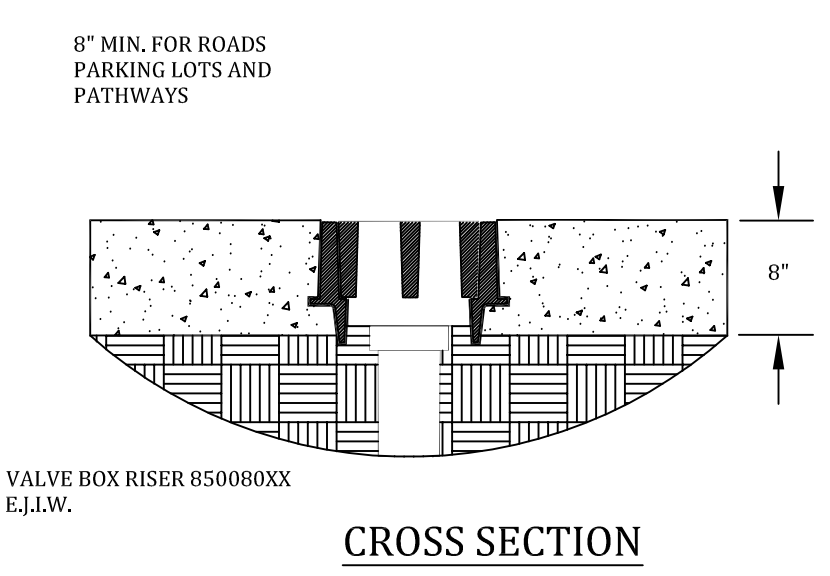
THE PVC (SDR-26) PIPE MATERIAL SHALL CONFIRM TO ASTM D 2241, WITH BELL AND SPIGOT JOINTS IN ACCORDANCE WITH ASTM F 47. PIPE INSTALLATION SHALL BE IN ACCORDANCE WITH ASTM D 2321. ALL PIPE SHALL BE MARKED TO PROVIDE ASTM DESIGNATIONS, SDR NUMBER, MANUFACTURER'S NAME AND PIPE DIAMETER.

THE CONTRACTOR SHALL TEST THE MAIN FOR DEFLECTION BY PULLING A MANDREL THROUGH THE SEWER AFTER ALL BACKFILL HAS BEEN PLACED AND COMPACTED OVER THE PIPE. THE MAXIMUM ALLOWABLE DEFLECTION SHALL NOT EXCEED 5% OF THE PIPE'S INSIDE DIAMETER. THE OUTSIDE DIAMETER OF THE TEST MANDREL SHALL BE EQUAL TO THE INSIDE DIAMETER OF THE PIPE LESS 5%. THE INITIAL TEST SHALL BE PERFORMED AT LEAST 30 DAYS AFTER PIPE INSTALLATION. A SECOND TEST SHALL BE PERFORMED AFTER 10 MONTHS OF PIPE INSTALLATION.

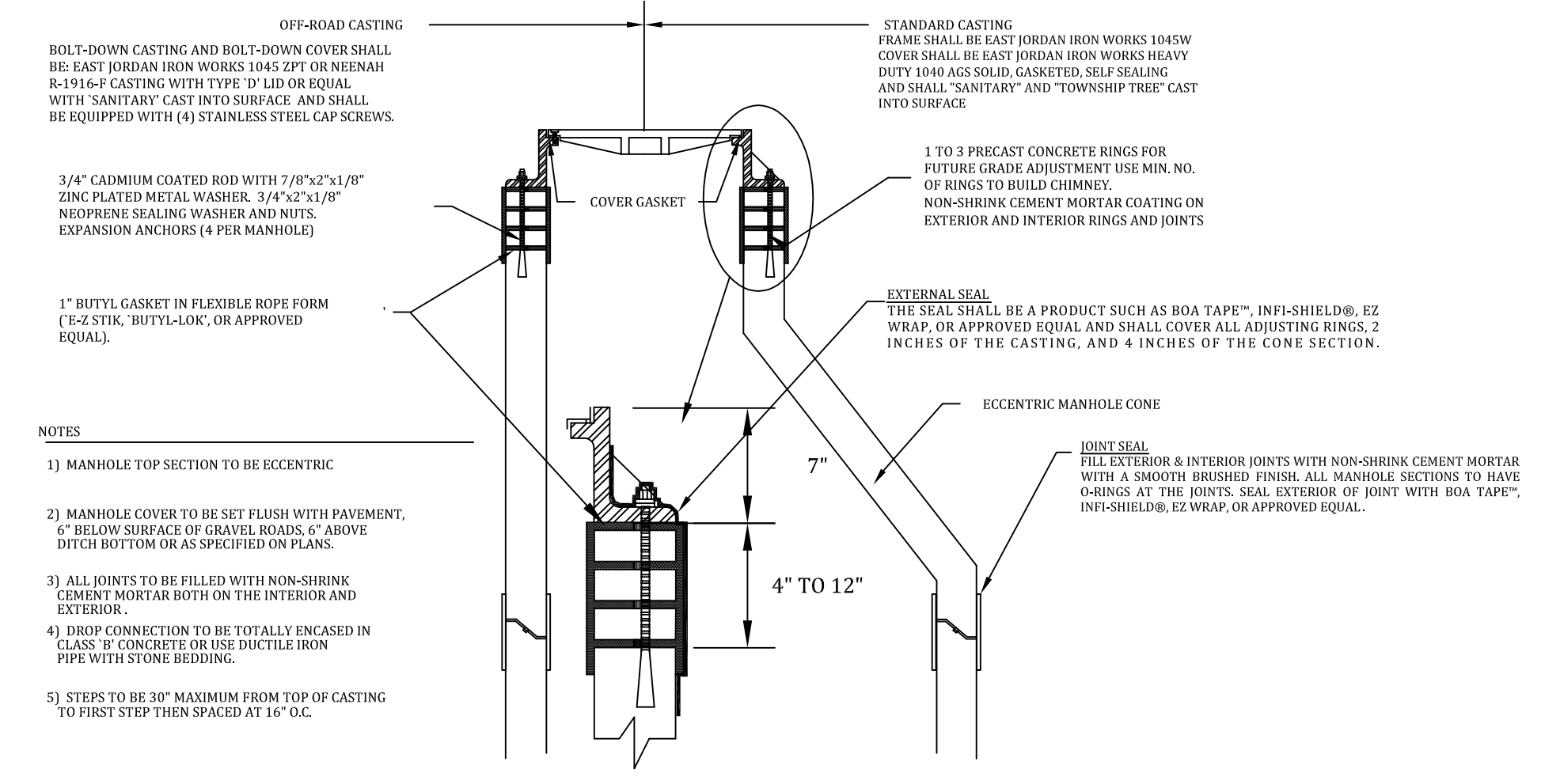


PLAN

CLEANOUT BOXES IN CONCRETE

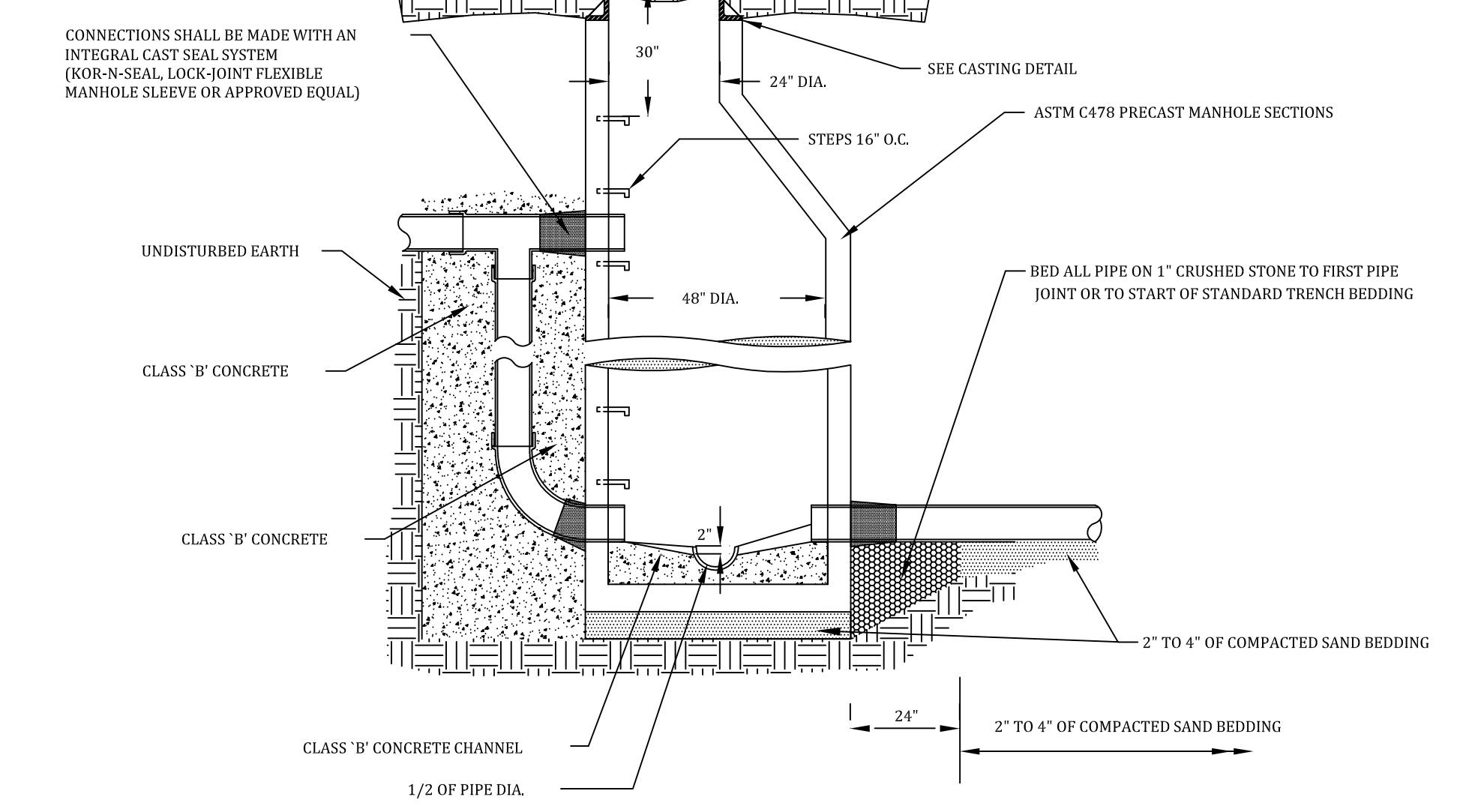


CROSS SECTION

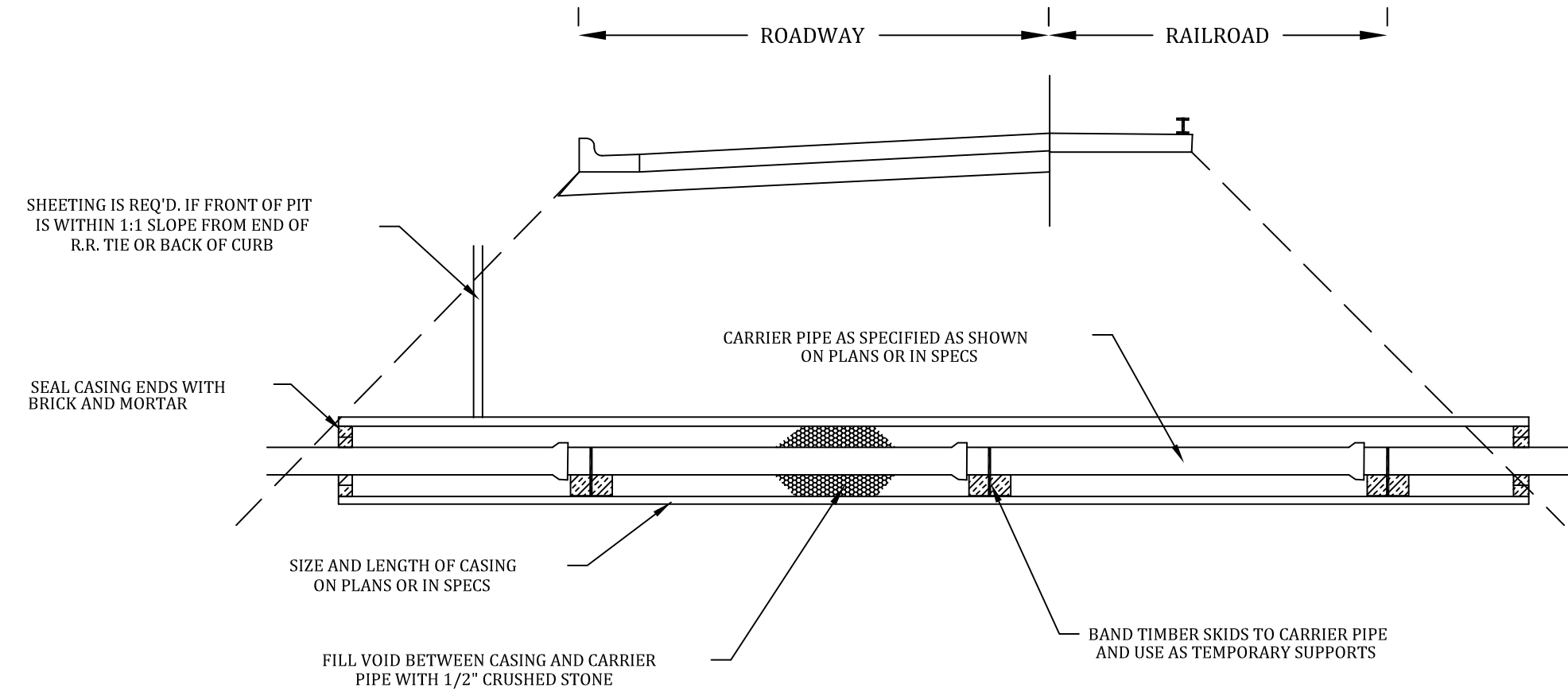


MANHOLE CASTING DETAIL

- NOTES
- MANHOLE TOP SECTION TO BE ECCENTRIC
 - MANHOLE COVER TO BE SET FLUSH WITH PAVEMENT, 6\"/>
 - ALL JOINTS TO BE FILLED WITH NON-SHINK CEMENT MORTAR BOTH ON THE INTERIOR AND EXTERIOR.
 - DRIP CONNECTION TO BE TOTALLY ENCASED IN CLASS 'B' CONCRETE OR USE DUCTILE IRON PIPE WITH STONE BEDDING.
 - STEPS TO BE 30\"/>

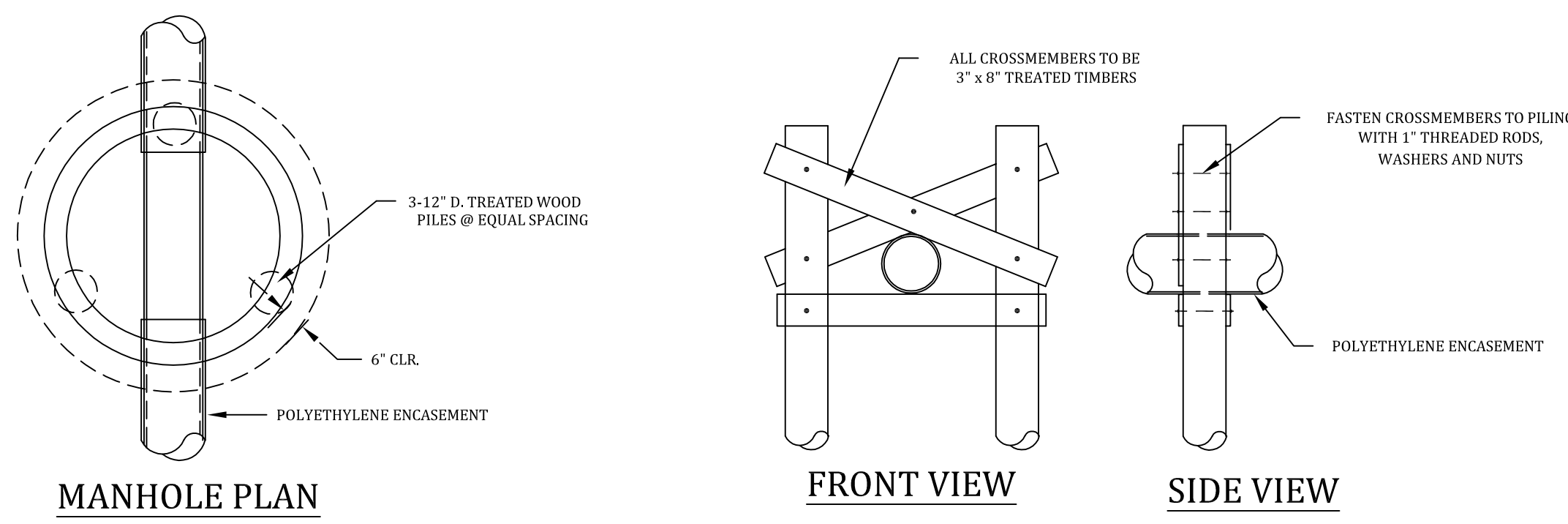


MANHOLE-SECTION DETAIL



CASING INSTALLATION DETAIL FOR ROADS & RAILROADS

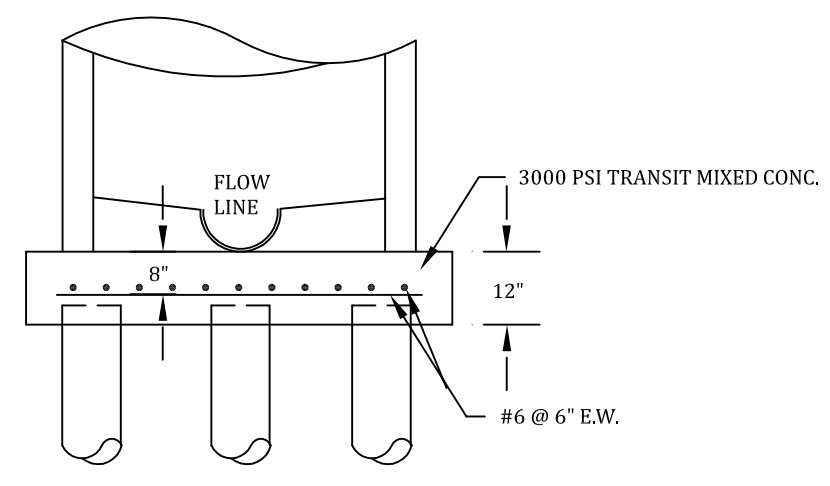
- NOTES
- WORK IN ROADS AND IN RAILROAD RIGHT-OF-WAYS SHALL BE IN ACCORDANCE WITH THE APPROPRIATE REGULATORY AGENCY'S REQUIREMENTS.
 - CASING PIPE SHALL BE ASTM 139, GRADE B OR ASTM A-53, GRADE B OR API 5-L, GRADE B OR API GRADE B WITH 0.375\"/>



MANHOLE PLAN

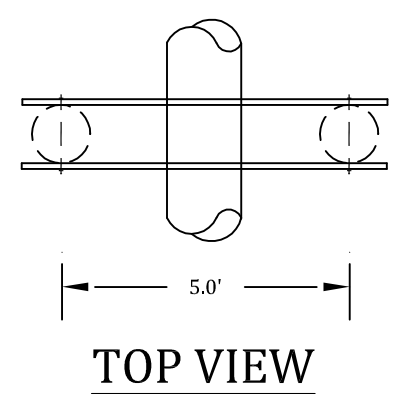
FRONT VIEW

SIDE VIEW

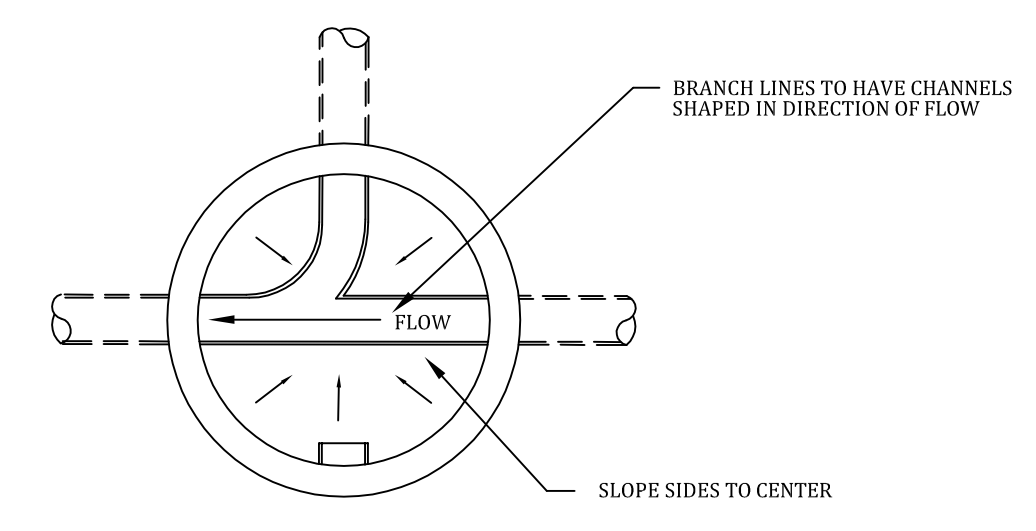


MANHOLE SECTION

PILING DETAILS



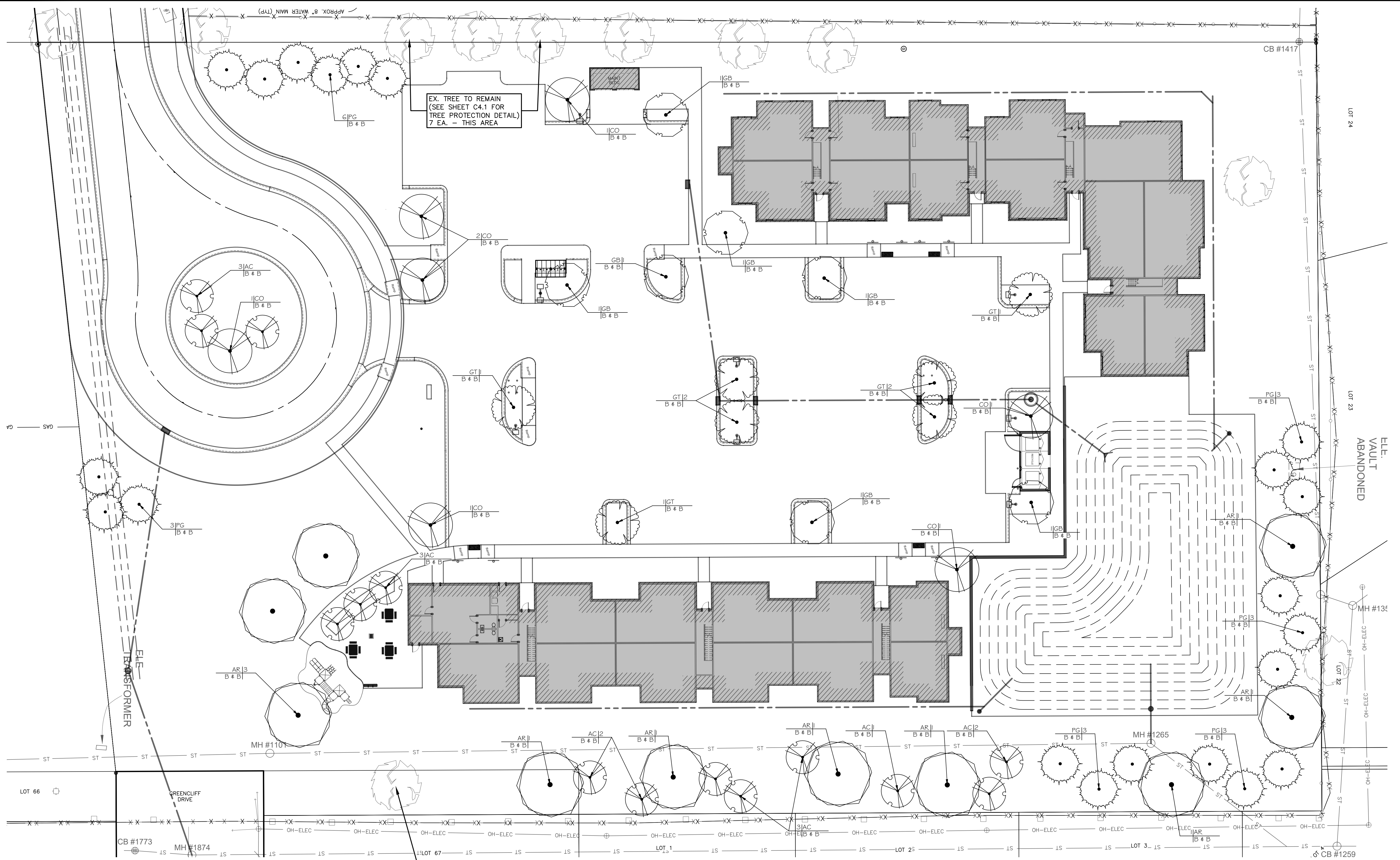
TOP VIEW



MANHOLE FLOWLINE PLAN

NOTE: USE A HALF PIPE AS A FORM FOR A CONCRETE FLOW CHANNEL.

Meridian Charter Township		REVISIONS:	
Ingham County, Michigan		DATE:	BY:
Public Works Department		04/1996	JG
		07/02/99	JG
		01/13/00	JG
		05/12/08	JG
		07/31/12	JG
		05/15/15	JG
		01/09/20	NN
STANDARD DETAILS FOR SANITARY SEWER SYSTEM		SCALE: NTS	PAGE: C4.4
DRAWN BY: MK 03/1983		CHECKED BY: JB 03/1983	FILE: Sewer Detail Sheet 2018.dwg



NO.	ISSUANCE / REVISION	BY	DATE
4	TOWNSHIP PLANNER REVIEW	B.A.C.	09/17/21
5	TOWNSHIP REVIEW / RTI #12	B.A.C.	09/29/21
6	SERIAL CUL-DE-SAC REVISIONS	B.A.C.	06/29/21
7	SITE PLAN AND SUJ REVIEW	B.A.C.	09/17/21

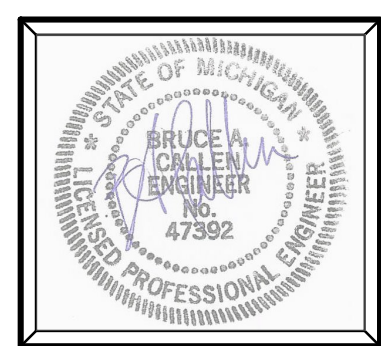
REVISED IN ACCORDANCE WITH CONSTRUCTION RECORDS

PROJECT	DATE
020 WOODWARD WAY	DEC '20
ENGINEER	DEC '20
EDIT	AUG '21
SCALE	
DRAWING	AS NOTED
AS NOTED	1:1
SHEET NO.	L1.0

PRELIMINARY - NOT FOR CONSTRUCTION

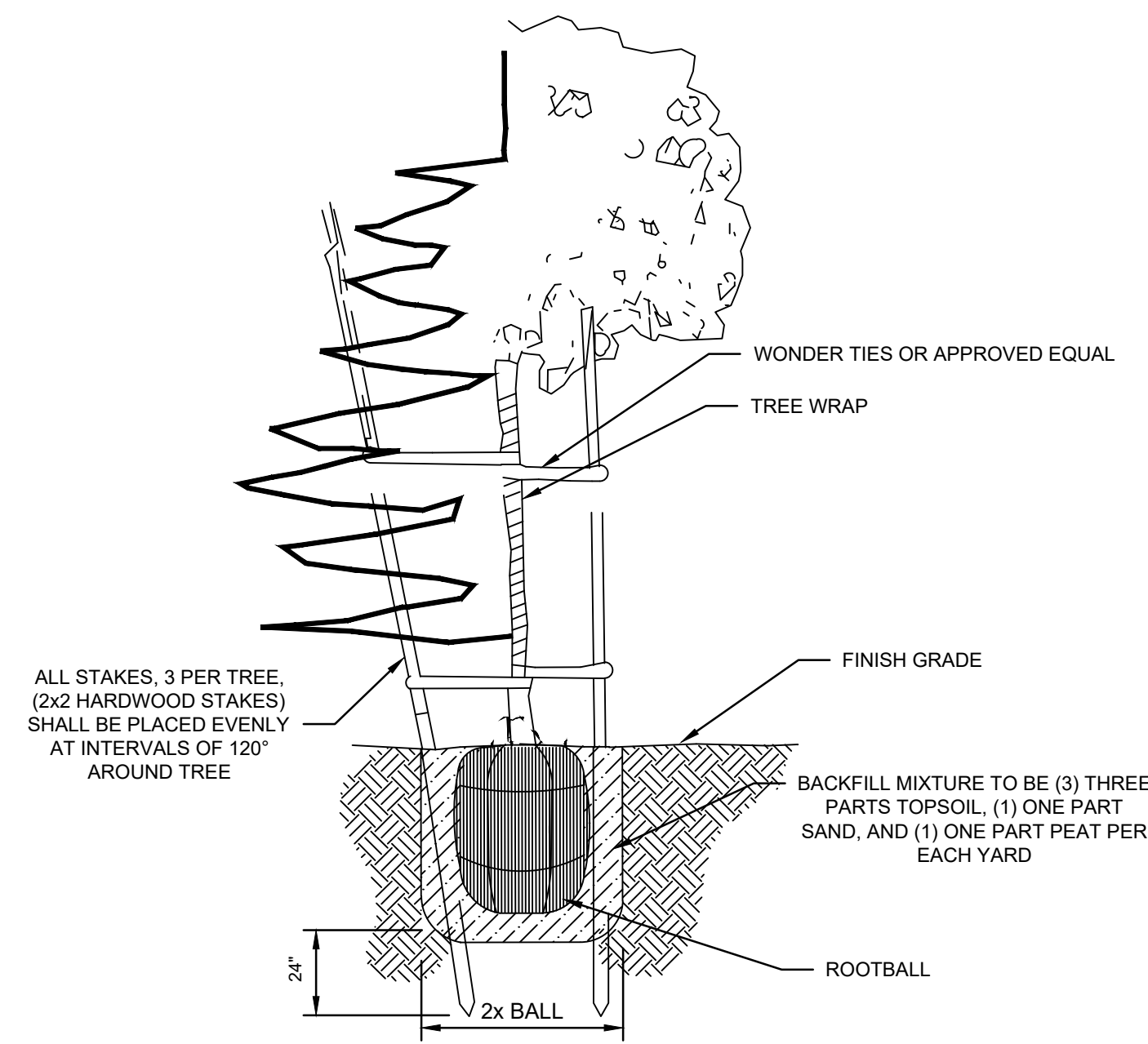


Know what's below.
 Call before you dig.
 DATE OF PLAN: 08-17-21



Plan Prepared By:
 Bruce A. Callen, P.E.
 Callen Engineering, Inc.
 108 E. Savidge St.
 Spring Lake, Michigan 49456
 Tel: 616-414-5260
 email: bcallen@callenengineering.com

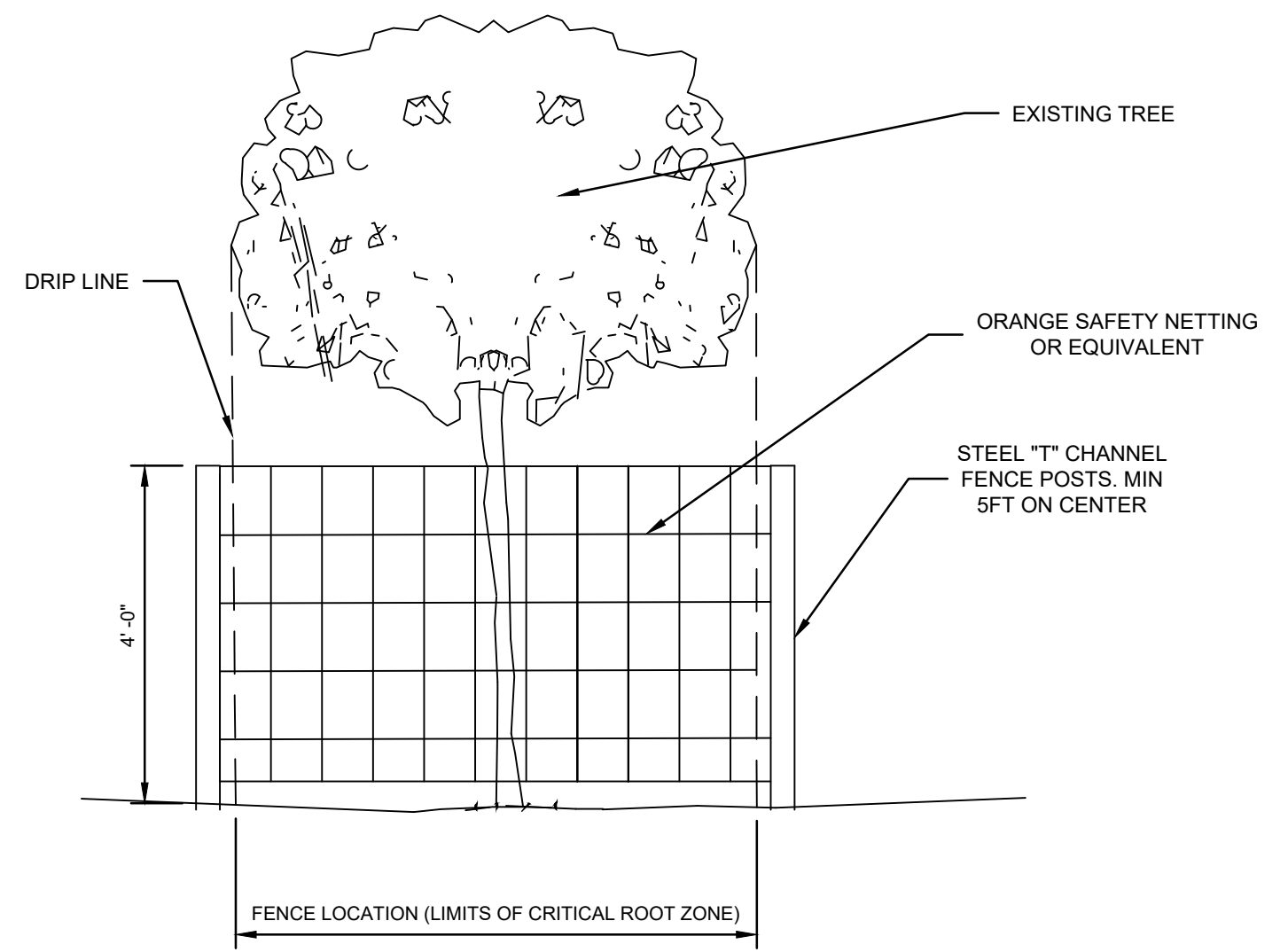
For protection of underground utilities, the CONTRACTOR shall dial 1-800-482-7171 OR 811 a minimum of three working days, excluding Saturdays, Sundays and holidays, prior to excavation in the vicinity of utility lines. All "MISS DIG" participating members will thus be routinely notified. This does not relieve the CONTRACTOR of the responsibility of notifying the utility owners who may not be part of the "MISS DIG" alert system.



ALL STAKES, 3 PER TREE, (2x2 HARDWOOD STAKES) SHALL BE PLACED EVENLY AT INTERVALS OF 120° AROUND TREE

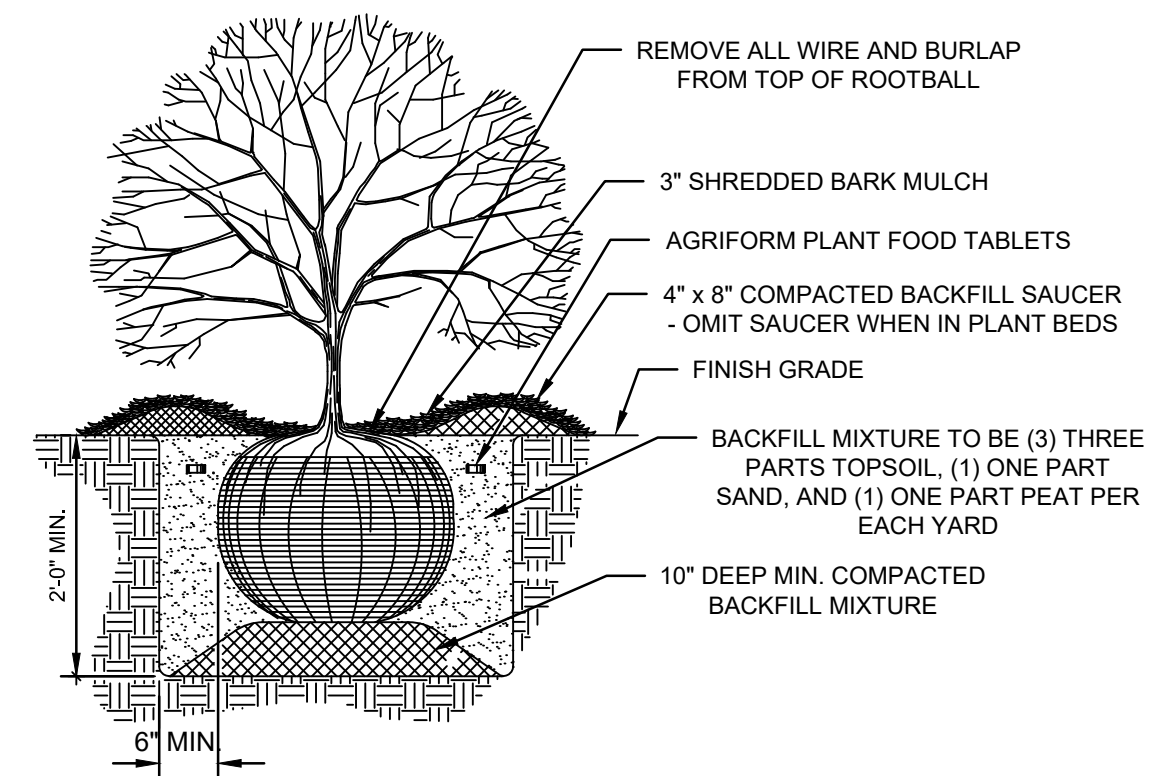
21 GRAM "AGRIFORM" PLANTING TABLETS AS FOLLOWS:
 2 TABLETS PER 1 GAL. PLANT
 3 TABLETS PER 5 GAL. PLANT
 4 TABLETS PER 15 GAL. PLANT
 LARGER PLANTS (2) TWO TABLETS PER 1/2" DIAM. OF TRUNK CALIPER

TYPICAL - TREE STAKING
NO SCALE

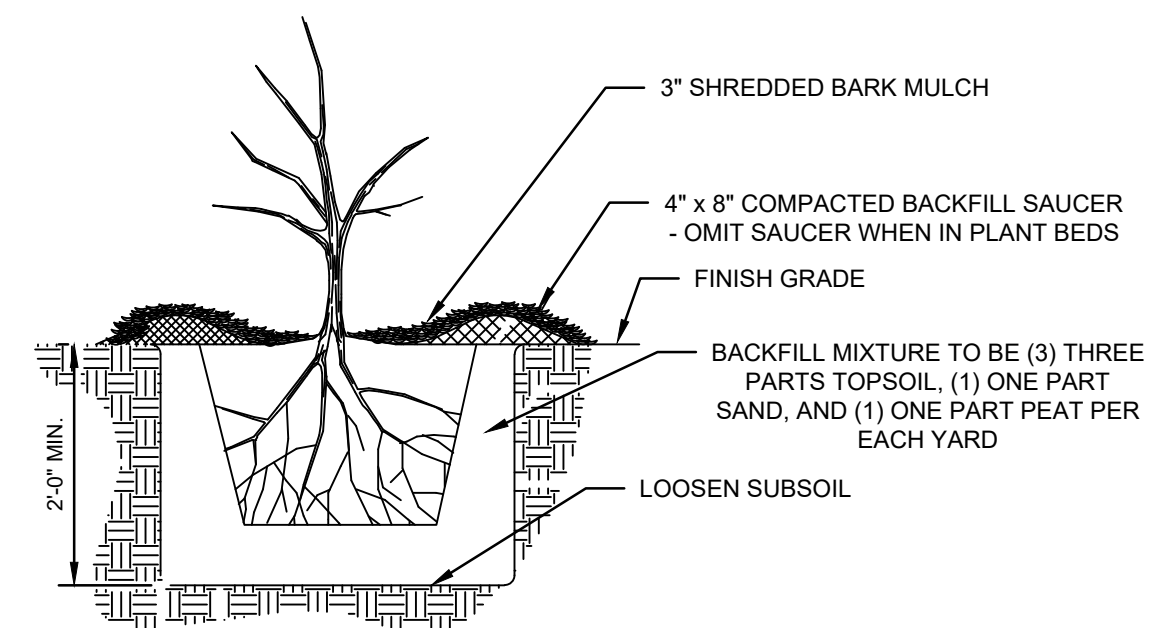


EXISTING TREE PROTECTION DETAIL
NO SCALE

TREES	CODE	BOTANICAL / COMMON NAME	CONT	GAL	SIZE	QTY
	AR	Acer rubrum / Red Maple	B & B	2"Gal		10
	AC	Amelanchier canadensis / Shadblow Serviceberry Multitrunk	B & B	2"Gal		14
	CO	Celtis occidentalis 'Magnifica' / Ultra Common Hackberry	B & B	2"Gal		7
	GB	Ginkgo biloba 'Princeton Sentry' / Princeton Sentry Ginkgo	B & B	2"Gal		7
	GT	Gleditsia triacanthos inermis 'Draves' TM / Street Keeper Honey Locust	B & B	2"Gal		7
	PG	Picea glauca / White Spruce	B & B		Min 8' Ht	21



SHRUB INSTALLATION
NO SCALE



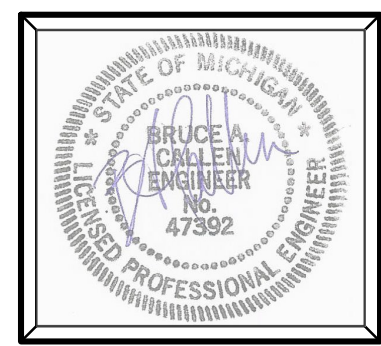
PERENNIAL INSTALLATION
NO SCALE

LANDSCAPE NOTES

- ALL PLANTING BEDS SHALL RECEIVE 4" OF EVENLY SPREAD SHREDDED HARDWOOD BARK MULCH OVER 4" OF TOPSOIL. MULCH SHALL BE PLACED AT ALL LOCATIONS WITH SLOPES 1:3 OR STEEPER. NO MULCH SHALL BE PLACED IN DETENTION / RETENTION BASIN BOTTOM AREA.
- CONTRACTOR SHALL NOTIFY "MISS DIG" TO LOCATE ANY UNDERGROUND UTILITY LINES OR STRUCTURES PRIOR TO STARTING CONSTRUCTION.
- CONTRACTOR SHALL PROVIDE SPECIFIED SHRUBS, GROUNDCOVERS AND OTHER PLANT MATERIALS THAT COMPLY WITH ALL RECOMMENDATIONS AND REQUIREMENTS OF ANSI 280.1 "AMERICAN STANDARD FOR NURSERY STOCK". PLANT MATERIAL SHALL BE CERTIFIED TO BE HARDY TO INGHAM COUNTY, FREE OF DISEASE AND INSECTS AND BE HEALTHY, VIGOROUS STOCK, GROWN WITH GOOD HORTICULTURAL PRACTICE AND INSTALLED IN ACCORDANCE WITH METHODS ESTABLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN. ALL LANDSCAPING SHALL BE MAINTAINED IN A HEALTHY, NEAT AND ORDERLY STATE, FREE FROM REFUSE AND DEBRIS. ANY DEAD OR DISEASED PLANTS SHALL BE REPLACED.
- ALL LANDSCAPE BEDS AND MULCH BORDERS ADJACENT TO LAWN AREAS SHALL HAVE A METAL EDGE UNLESS SPECIFIED OTHERWISE.
- SEED SHALL BE PLACED OVER 4" OF TOPSOIL IN ALL PROPOSED LAWN AREAS AND ALL AREAS DISTURBED BY CONSTRUCTION WITH SLOPES LESS THAN 1:3. NO TOPSOIL OR SEED SHALL BE PLACED IN DETENTION / RETENTION BASIN BOTTOM AREA. SEED MIXES SHALL BE AS FOLLOWS:
 10% TALL FESCUE
 20% PERENNIAL RYE GRASS
 30% CREEPING RED FESCUE
 40% KENTUCKY BLUEGRASS
 @ 6 LBS PER 1000 SFT.
 SEED MIXES SHALL BE DROUGHT TOLERANT @ 6 LBS PER 1,000 SFT.
- ALL PLANTINGS AND LANDSCAPE IMPROVEMENTS SHALL BE CONSISTENT WITH LOCAL ZONING REQUIREMENTS.
- ALL BUILDINGS WILL HAVE A 2-FOOT MAINTENANCE STRIP IN NON-LANDSCAPED AREAS ALONG THE BUILDING PERIMETER.



Know what's below.
Call before you dig.
DATE OF PLAN: 07-17-21



Plan Prepared By:
 Bruce A. Callen, P.E.
 Callen Engineering, Inc.
 108 E. Savidge St.
 Spring Lake, Michigan 49456
 Tel: 616-414-5260
 email: bcallen@callenengineering.com

For protection of underground utilities, the CONTRACTOR shall dial 1-800-482-7171 OR 811 a minimum of three working days, excluding Saturdays, Sundays and holidays, prior to excavation in the vicinity of utility lines. All "MISS DIG" participating members will thus be routinely notified. This does not relieve the CONTRACTOR of the responsibility of notifying the utility owners who may not be part of the "MISS DIG" alert system.

PRELIMINARY - NOT FOR CONSTRUCTION



WOODWARD WAY LDHA, LP
 500 S. FRONT STREET, 10TH FLOOR
 COLUMBUS, OHIO 43215

NO.	ISSUANCE / REVISION	BY	DATE
1	TOWNSHIP REVIEW	B.A.C.	02/16/21
2	TOWNSHIP REVIEW / RT #12	B.A.C.	02/25/21
3	SIRHAL CUL-DE-SAC REVISIONS	B.A.C.	06/29/21
4	SITE PLAN AND SUJ REVIEW	B.A.C.	09/17/21

WOODWARD WAY APARTMENTS
 2720 - 2780 SIRHAL DRIVE
 MERIDIAN TOWNSHIP
 INGHAM COUNTY, MICHIGAN
 LANDSCAPE PLAN DETAILS

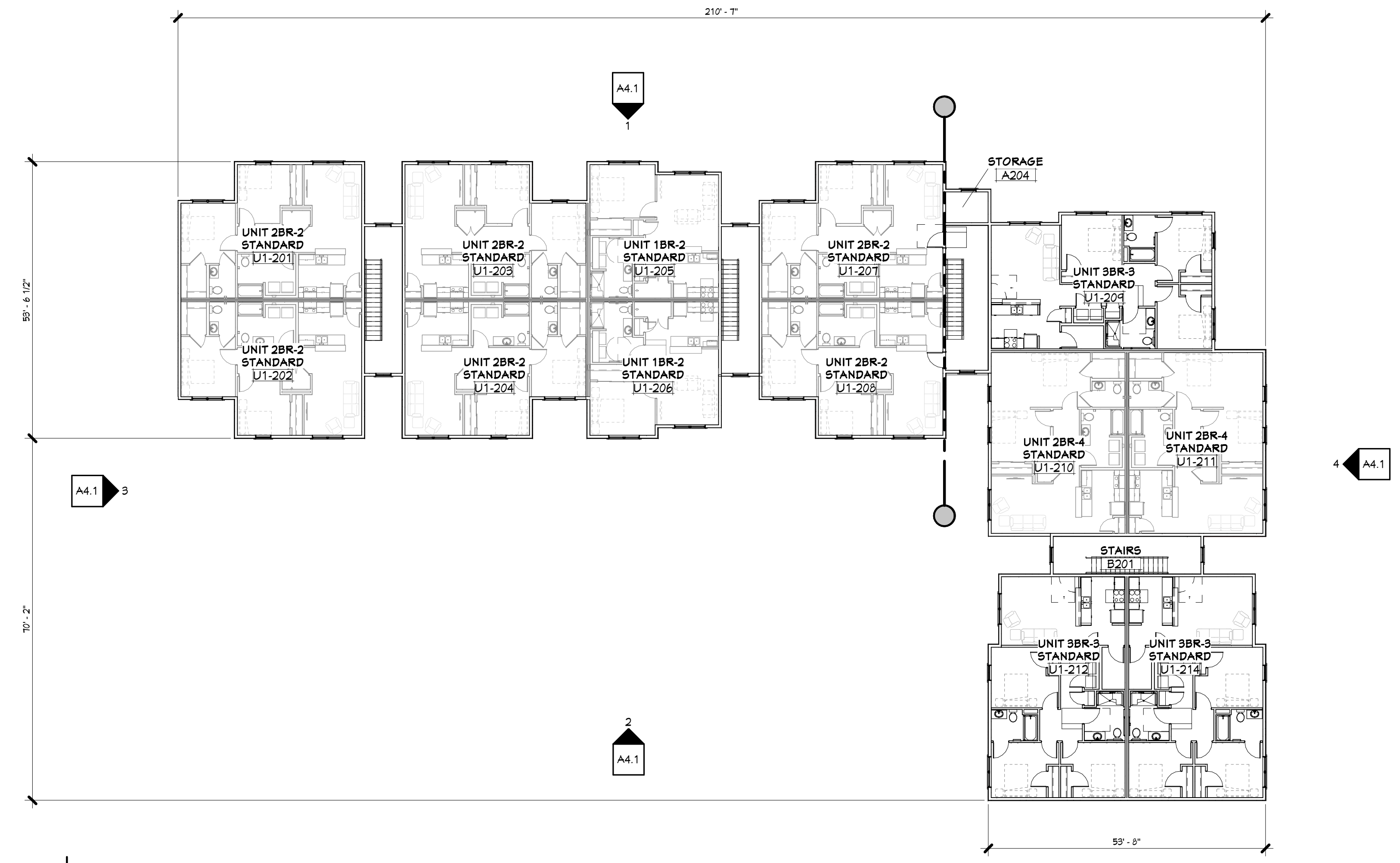
DRAWN BY	DATE
J.W.C.	DEC '20
ENGINEER	DATE
A.J.B.	DEC '20
EDIT	DATE
J.W.C.	AUG '21
SCALE	SCALE
DRAWING	AS NOTED
AS NOTED	1:1

PROJECT 020 WOODWARD WAY
 SHEET NO.

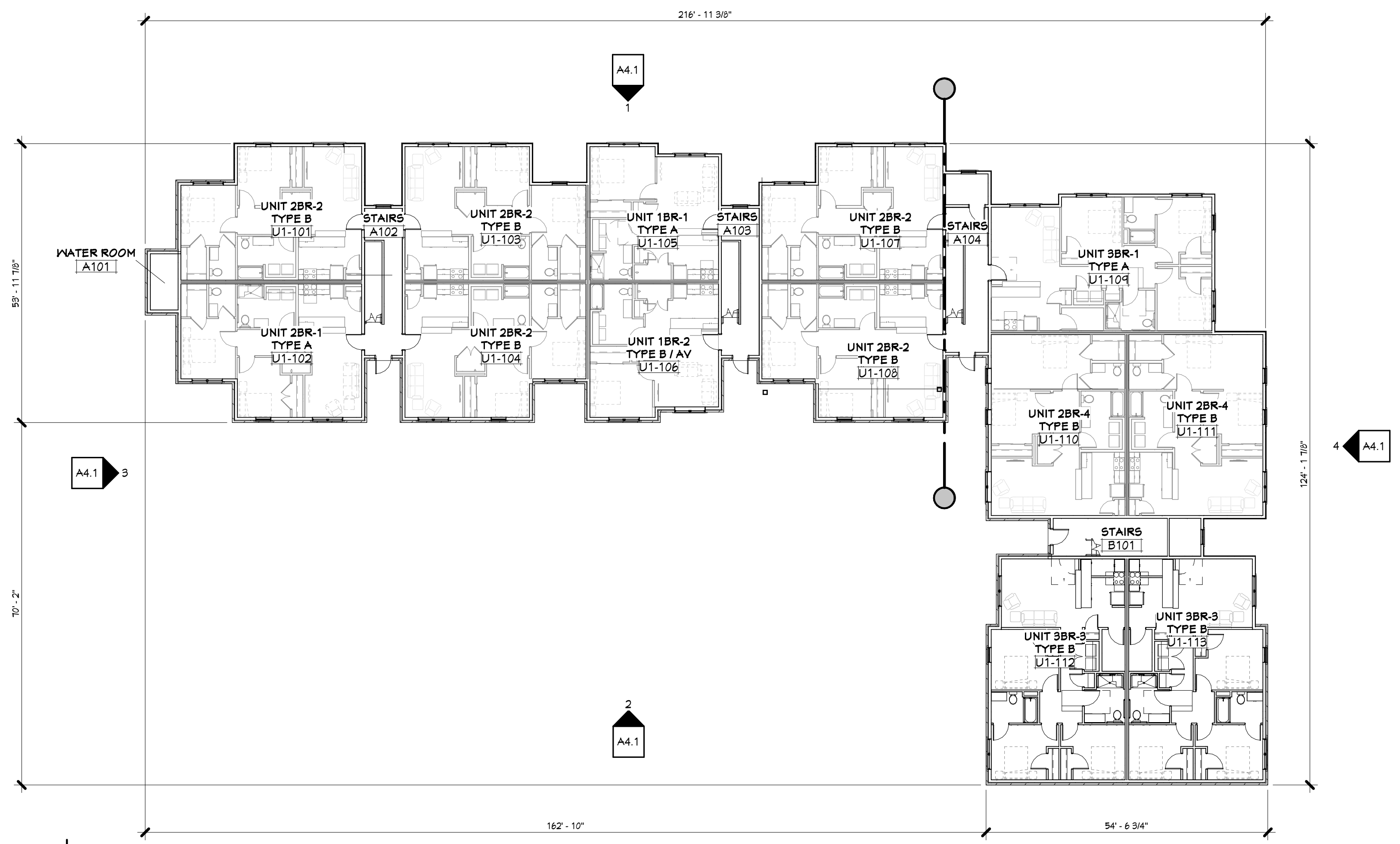
L1.1

ISSUANCE		
No.	Date	Description
1	2021.08.17	SITE PLAN REVIEW

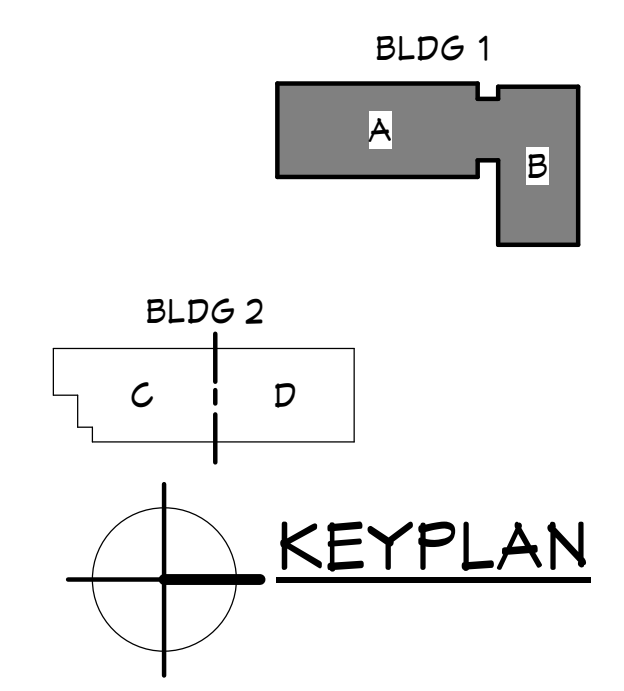
NOT FOR CONSTRUCTION



2 OVERALL SECOND FLOOR PLAN - BUILDING 1
 1/16" = 1'-0"

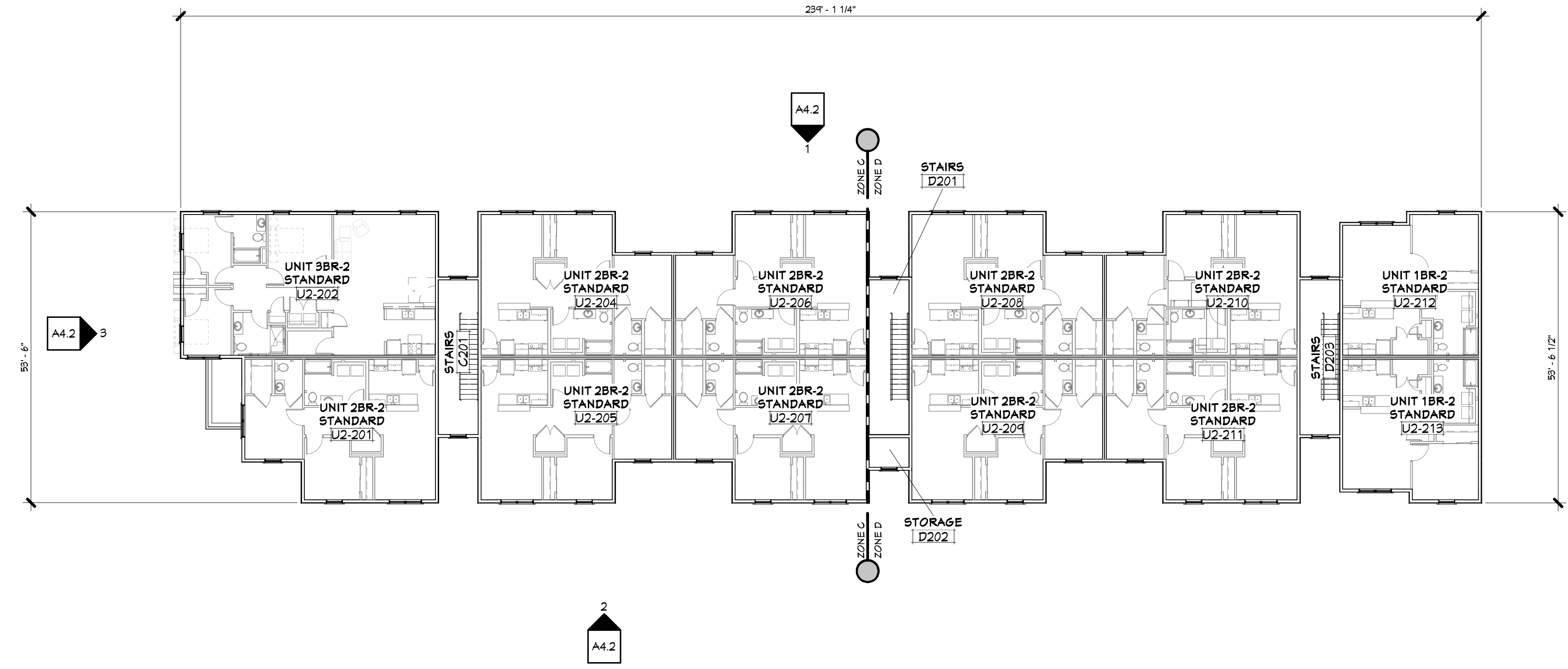


1 OVERALL FIRST FLOOR PLAN - BUILDING 1
 1/16" = 1'-0"

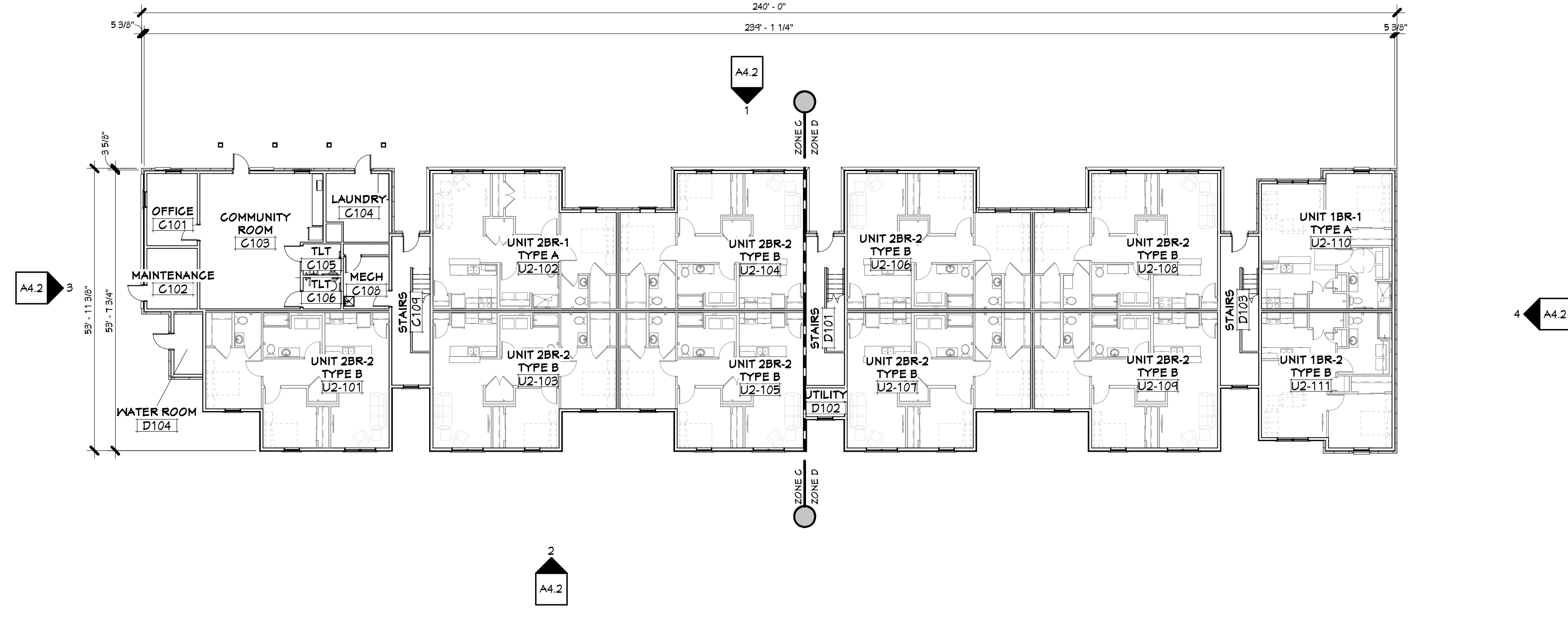


ISSUANCE		
No.	Date	Description
1	2021.08.17	SITE PLAN REVIEW

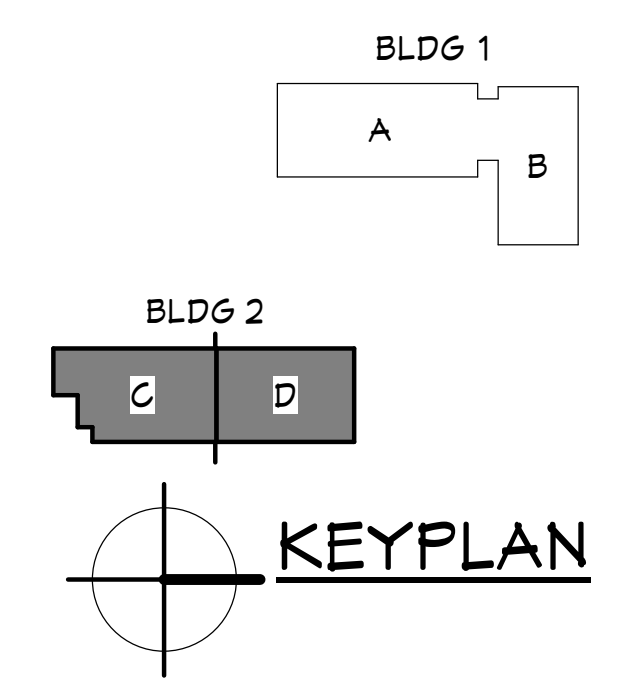
NOT FOR CONSTRUCTION



2 OVERALL SECOND FLOOR PLAN - BUILDING 2
 1/16" = 1'-0"



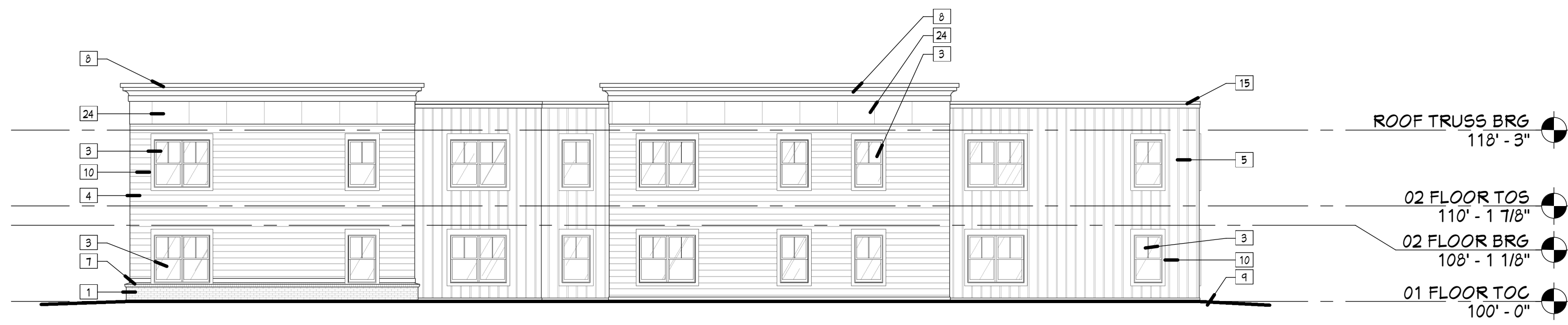
1 OVERALL FIRST FLOOR PLAN - BUILDING 2
 1/16" = 1'-0"



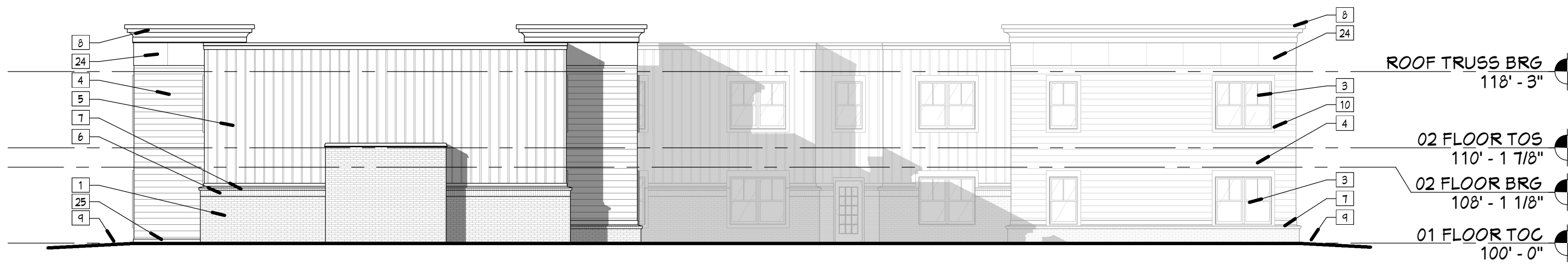
EXTERIOR FINISHES				
BUILDING EXTERIOR	MATERIAL	MANUFACTURER	COLOR	COMMENTS
ROOF	TPO	FIRESTONE	WHITE	
LAP SIDING	FIBER CEMENT	JAMES HARDIE	SLATE GRAY	
BOARD AND BATTEN	FIBER CEMENT	JAMES HARDIE	ARCTIC WHITE	
FACE BRICK	BRICK	BELDEN BRICK	TUMBLEWEED VELOUR	
GROUT	GROUT	-	GRAY	
BUILDING TRIM	FIBER CEMENT	JAMES HARDIE	MATCH SIDING	
WINDOW TRIM	PVC	-	WHITE	
WINDOWS	VINYL	PELLA	WHITE	
EXTERIOR DOORS	PAINT	-	UP IN SMOKE PPG 1010-6	
GUTTERS / DOWNSPOUTS	ALUMINUM	-	WHITE	
MAILBOXES	POWDER COAT	FLORENCE	POSTAL GRAY	

EXTERIOR ELEVATION KEYNOTES

1. FACE BRICK
2. CONTROL JOINT
3. SINGLE-HUNG WINDOWS W/ MUNTINS
4. PRE-FINISHED FIBER CEMENT HORIZONTAL LAP SIDING
5. PRE-FINISHED FIBER CEMENT VERTICAL BOARD AND BATTEN
6. BRICK SOLDIER COURSE TO MATCH FACE BRICK
7. BRICK ROYALOCK TO MATCH FACE BRICK
8. BUILT-OUT COMPOSITE CORNICE
9. APPROX. GRADE - SEE CIVIL
10. COMPOSITE TRIM BOARD
11. DECORATIVE COLUMN COVER - SEE DETAILS
12. 3X4" PRE-FINISHED METAL DOWNSPOUT
13. 5X5" PRE-FINISHED METAL GUTTER
14. PDC - SEE PLUMBING
15. PRE-FINISHED FIBER CEMENT FASCIA
16. DISCONNECT SWITCH - SEE ELECTRICAL
17. ELECTRICAL METERS - SEE ELECTRICAL
18. GAS METERS - SEE MECHANICAL
19. CONDENSING UNIT - SEE MECHANICAL
20. CONDENSER HEAD AND GUTTER
21. LIGHTING FIXTURE - SEE ELECTRICAL
22. DROP BOX
23. EXHAUST COVER
24. PRE-FINISHED FIBER CEMENT PANELS WITH REVEAL
25. 5/4 X 6 PRE-FINISHED FIBER CEMENT TRIM HELD 5" ABOVE GRADE



4 NORTH ELEVATION - BUILDING 1
A4.1 3/32" = 1'-0"



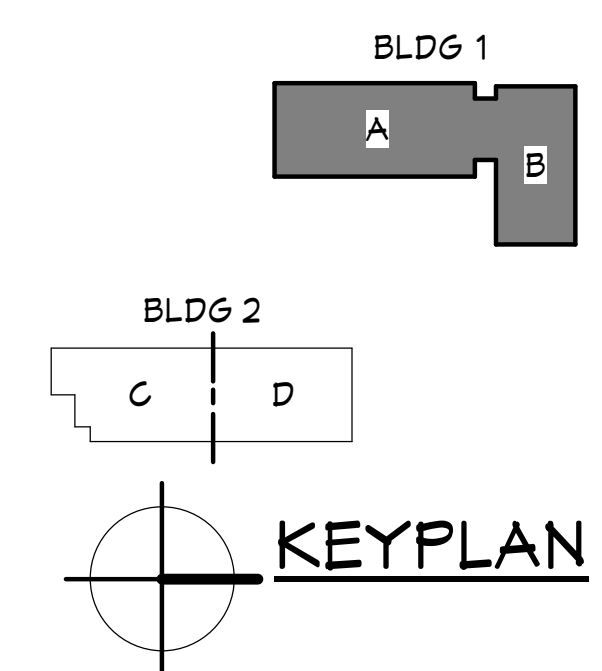
3 SOUTH ELEVATION - BUILDING 1
A4.1 3/32" = 1'-0"



2 EAST ELEVATION - BUILDING 1
A4.1 3/32" = 1'-0"



1 WEST ELEVATION - BUILDING 1
A4.1 3/32" = 1'-0"



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ARCHITECTS • ENGINEERS • PLANNERS
316 Morris Avenue
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Muskegon, MI 49440
P 231.722.3407
F 231.722.2589

MULTI-FAMILY RESIDENTIAL
WOODWARD WAY APARTMENTS
2720-2760 SIRIAL DRIVE - MERIDIAN TOWNSHIP, MI 48823
WOODWARD WAY LIMITED PARTNERSHIP

Project Number	2020-0418	
ISSUANCE		
No.	Date	Description
1	2021.08.17	SITE PLAN REVIEW

NOT FOR CONSTRUCTION

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EXTERIOR ELEVATIONS - BUILDING 1

A4.1

Project Number	2020-0418	
ISSUANCE		
No.	Date	Description
1	2021.08.17	SITE PLAN REVIEW

NOT FOR CONSTRUCTION

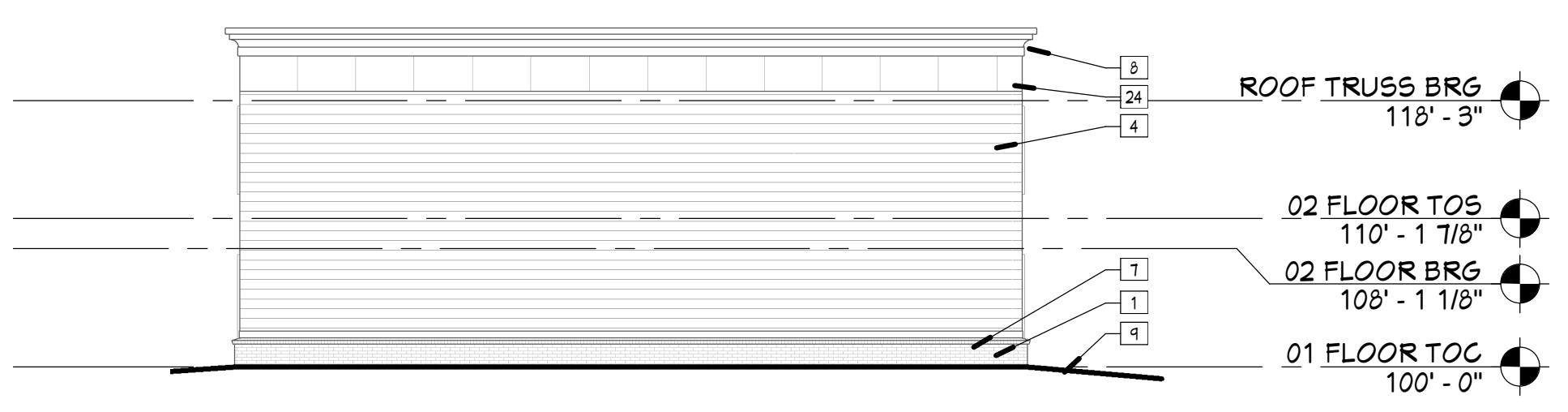
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EXTERIOR ELEVATIONS - BUILDING 2

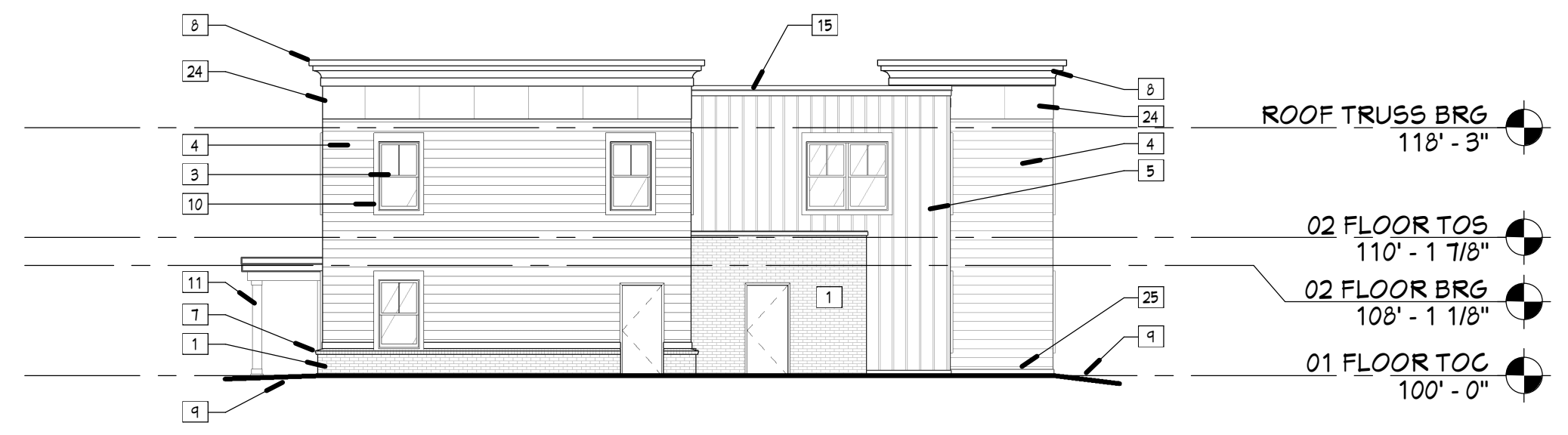
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EXTERIOR ELEVATION KEYNOTES

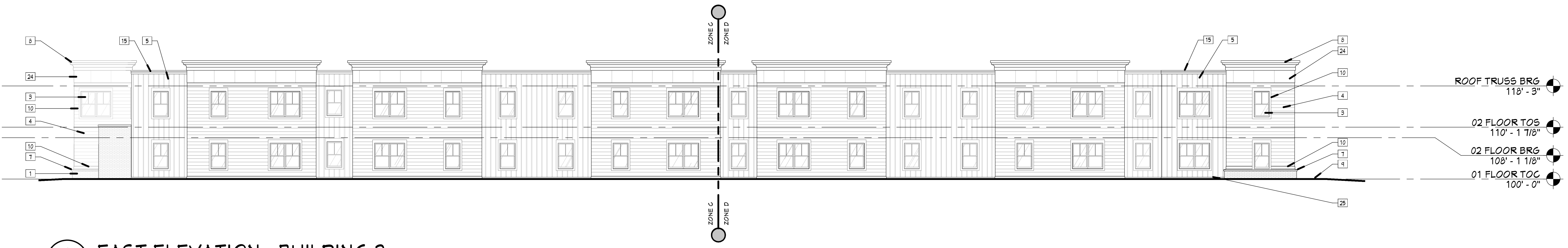
1. FACE BRICK
2. CONTROL JOINT
3. SINGLE-HUNG WINDOWS W/ MUNTINS
4. PRE-FINISHED FIBER CEMENT HORIZONTAL LAP SIDING
5. PRE-FINISHED FIBER CEMENT VERTICAL BOARD AND BATTEN
6. BRICK SOLDIER COURSE TO MATCH FACE BRICK
7. BRICK ROWLOCK TO MATCH FACE BRICK
8. BUILT-OUT COMPOSITE GORNICE
9. APPROX. GRADE - SEE CIVIL
10. COMPOSITE TRIM BOARD
11. DECORATIVE COLUMN COVER - SEE DETAILS
12. 3/4" PRE-FINISHED METAL DOWNSPOUT
13. 5X8" PRE-FINISHED METAL GUTTER
14. FDC - SEE PLUMBING
15. PRE-FINISHED FIBER CEMENT FASCIA
16. DISCONNECT SWITCH - SEE ELECTRICAL
17. ELECTRICAL METERS - SEE ELECTRICAL
18. GAS METERS - SEE MECHANICAL
19. CONDENSING UNIT - SEE MECHANICAL
20. CONDENSER HEAD AND GUTTER
21. LIGHTING FIXTURE - SEE ELECTRICAL
22. DROP BOX
23. EXHAUST COVER
24. PRE-FINISHED FIBER CEMENT PANELS WITH REVEAL
25. 5/4 X 6 PRE-FINISHED FIBER CEMENT TRIM HELD 8" ABOVE GRADE



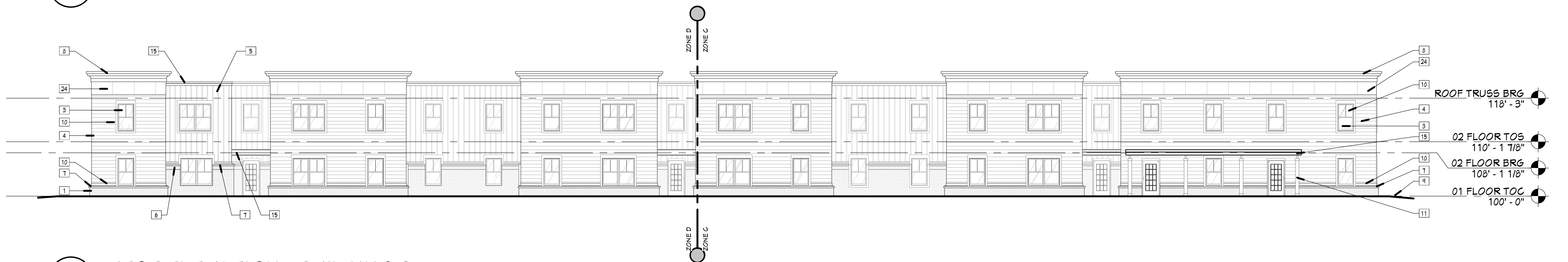
4 NORTH ELEVATION - BUILDING 2
 A4.2 3/32" = 1'-0"



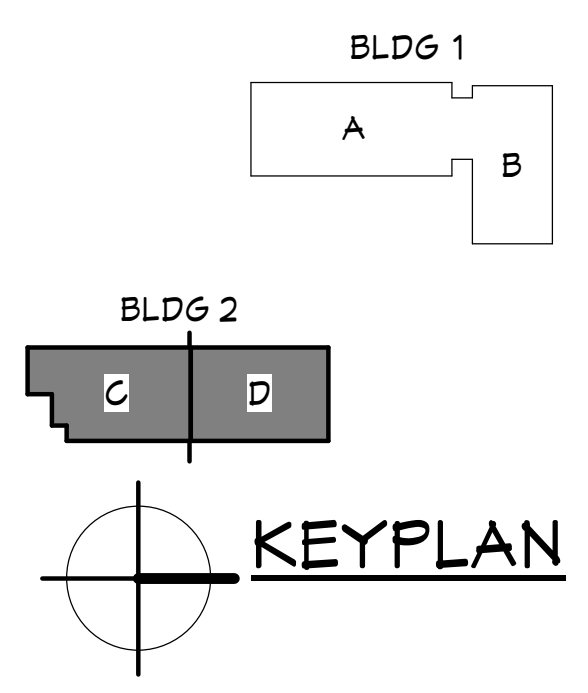
3 SOUTH ELEVATION - BUILDING 2
 A4.2 3/32" = 1'-0"

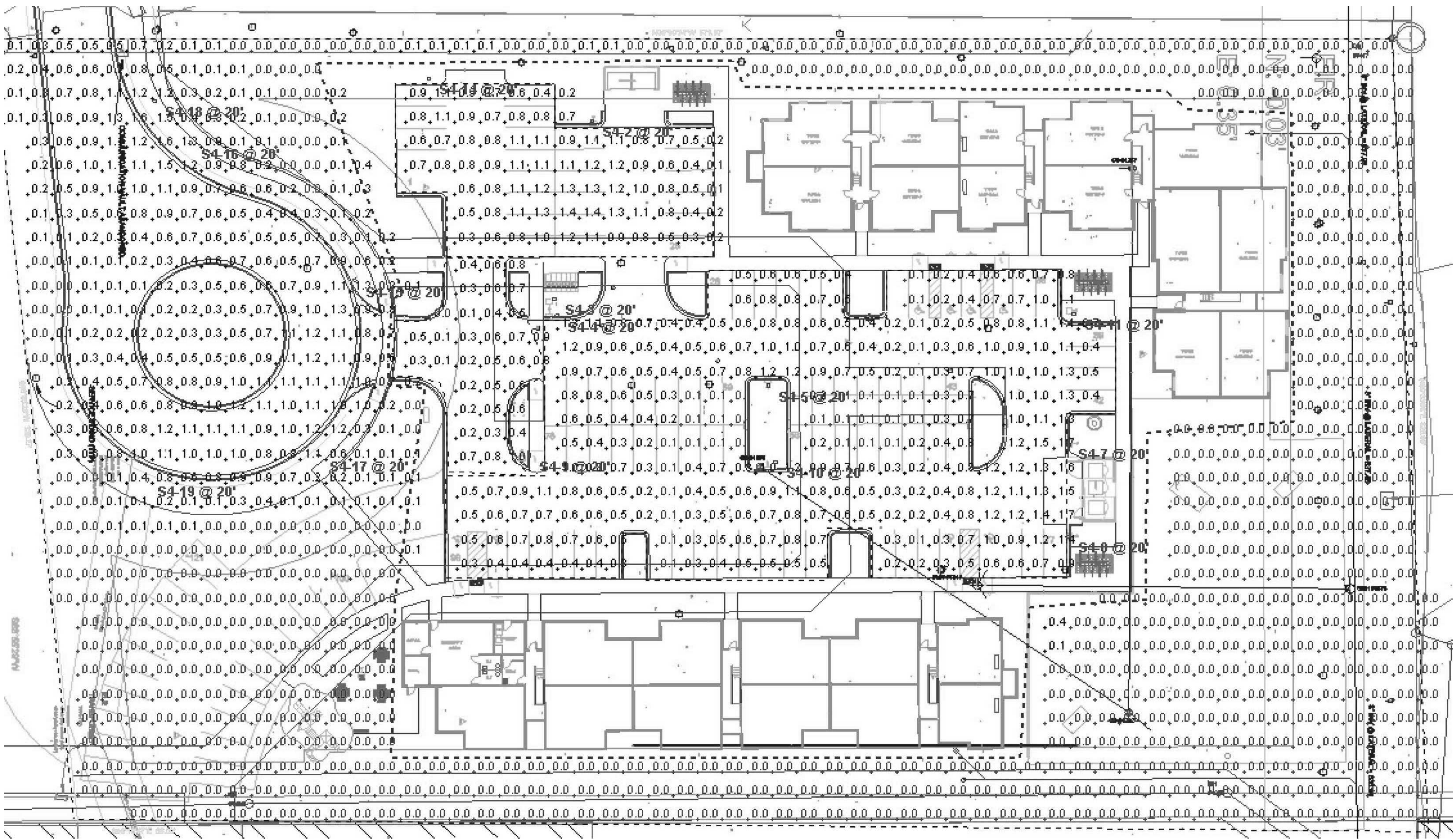


2 EAST ELEVATION - BUILDING 2
 A4.2 3/32" = 1'-0"



1 WEST ELEVATION - BUILDING 2
 A4.2 3/32" = 1'-0"





Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
ENTRY	+	0.5 fc	1.0 fc	0.0 fc	N/A	N/A
OVERALL EXTENTS	+	0.2 fc	1.6 fc	0.0 fc	N/A	N/A
PARKING LOT #1	+	0.8 fc	1.4 fc	0.1 fc	14:0:1	8:0:1
PARKING LOT #2	+	0.6 fc	1.7 fc	0.1 fc	17:0:1	6:0:1

Schedule								
Symbol	Label	QTY	Catalog Number	Description	Number Lamps	Lumens per Lamp	LLF	Wattage
□	S4	15	VP-L-64E2-115-AMB-4	LARGE VIPER WITH AMBER LED	1	3454	0.9	115

2814
5180 2786 2776 0 2768
Brentwood Ave
2819 2813 2805 2791 2783 2775 2767 2759 2753 2751

5149
514
513
512
511
510
Jo Don Dr
5140
5130
2790
RC
511
RCC
Sirhot Dr
2790

2848
N
2838
2800
2750
5097
5091
5081
5075
5057
C-2

5187
5177
5167
5157
5147
5137
5127
5117
0
Wardcliff Dr
RA
5120 2692 2684 2672 2664

Greencliff Dr
2703 2691 2683 2671 5095
2704 2692 2684 2672 2664
Rockwood Dr
2703 2691 2684 2671 2663